



Prepared for

LINCOLN SOLAR 1, LLC

1 Paragon Drive
Montvale, NJ 07645

AND

TOWN OF LINCOLN

16 Lincoln Road
Lincoln, MA 01773

SITE PLAN REVIEW APPLICATION

Former Lincoln Landfill Solar Development

Prepared by

Geosyntec 
consultants

engineers | scientists | innovators

289 Great Road, Suite 202
Acton, Massachusetts 01720

BE0291

June 3, 2024

3 June, 2024

Transmitted hardcopy and via email: vaughnp@lincolntown.org

Paula Vaughn-MacKenzie
Director of Planning and Land Use
Town of Lincoln
16 Lincoln Rd
Lincoln, MA 01773

**Subject: Site Plan Review Application (Revision 1)
Solar Development at the Former Lincoln Landfill
Lincoln, Massachusetts**

Dear Ms. Vaughn-MacKenzie:

This revised Site Plan Review (SPR) application has been prepared in support of a proposed installation of a ground mount photovoltaic (PV) system (Solar Facility) at the closed Lincoln Landfill (Site) in Lincoln, Massachusetts. This application has been prepared by Geosyntec Consultants (Geosyntec) on behalf of Lincoln Solar 1, LLC (primary applicant) and the Town of Lincoln (Town; co-applicant). (Lincoln Solar 1, LLC is an affiliate of HESP Solar LLC.) This application supersedes the March 13, 2024 submittal. As indicated in your March 13 2024 e-mail correspondence, this electronic version and one hard copy of the documents is being provided including one full size set of the drawings. The remainder of this letter presents site background, compliance with the applicable Town's Zoning By-Laws, and additional assessments and consideration.

SITE BACKGROUND

The Site is an unlined, closed, inactive municipal solid waste (MSW) landfill, of which operation ceased in 1986 and closed (capped) in 1990. The Town's Department of Public Works (DPW) operates a transfer station located north of the landfill. The property (Tax Map 115, Lot 19-0) is 36.6 acres of which the landfill occupies approximately 7.1 acres. The Site is located off of Route 2A (North Great Road). The Site's property address is 169 North Great Road, Lincoln, Massachusetts. The Site is surrounded by woods, wetlands, and Mill Street (to the east side of the Site). Hanscom Air Force Base is located within 2 miles of the Site. Access to the landfill and transfer station is on a driveway off of Route 2A. The access road is on land owned by the U.S. National Park Service (NPS). The Town has a permit from the NPS to use the access road for transfer station activities and maintains the access road for the purpose of normal activities involving the operations of the transfer station and maintenance/monitoring of the capped landfill. The Town secured a modification to its permit to expand its use of the access road to accommodate the construction and maintenance of the solar facility. A stormwater drainage swale along the northern perimeter of the landfill discharges stormwater runoff from the landfill northern slopes toward the wetlands to the west of the landfill; a 12-inch diameter reinforced concrete pipe is located at the downstream end of the swale underneath a

paved access ramp at the toe of the landfill cap. The remainder of the landfill's stormwater runoff sheet flows to the surrounding wetlands following the landfill closure contours. The Site is completely vegetated and is periodically mowed by the Town's Conservation Department.

An existing landfill gas management system consists of seven passive gas vents. Each vent consists of a 4-inch diameter perforated poly-vinyl chloride (PVC) pipe to the bottom of refuse, a 4-inch diameter solid PVC pipe (approximately 5 feet long), and then slotted PVC at the top for venting (approximately 1 ft long). No other gas collection/management features exist at the Site. A third-party consultant monitors the system and the landfill in accordance with a Massachusetts Department of Environmental Protection approved, February 6, 2017 Post-Closure Monitoring and Maintenance Plan.

Figure 1 presents the layout of the proposed solar development and the interconnection location along Mill Street. The proposed solar development will install photovoltaic panels on a racking system that will be ballasted by concrete blocks. A ballasted fence will surround the solar field and tie into the transfer station fence. Concrete pads are needed to house electrical equipment such as invertors. These pads are located adjacent to the transfer station entrance and approximately 25-feet in from the edge of Mill Street in a wooded area. As required by the National Electrical Code the concrete pads will be fenced. A multi-use path is proposed to run adjacent to the majority of the interconnection outside of the northern perimeter of the landfill transfer station fence to Mill Street.

COMPLIANCE WITH TOWN ZONING BY-LAWS

- **Compliance with the Town's Zoning By-Laws Sections 17.1 through 17.6** is demonstrated via the following attachments to this letter:
 - Attachment A – SPR Application Cover Form
 - Attachment B – Non-Residential Site Plan Application Form and Checklist
 - Attachment C – Site Plan (Permit Drawings)
 - Attachment D – Certified Abutters List
 - Attachment E – Photographs of Existing Conditions
- **Compliance with the Town's Zoning By-Laws Section 13.6.5(c)** is demonstrated below:
 - Setback – the proposed solar system will not be located within a front yard, defined as the area between the front façade of the main building (or structure) extended to the side property lines and extending to the street line (corner lots have two front facades).
 - Height – the proposed solar system will have a maximum height of approximately 9.5 feet as measured from the ground to the top of the solar panels when at maximum vertical tilt. The proposed solar system is not a canopy/carport solar energy system.

ADDITIONAL ASSESSMENTS AND CONSIDERATIONS

- **Solar Panel Glare:**

- The proposed solar modules will be equipped with anti-reflection (light-absorbing) coating to reduce reflection and increase the solar energy-electricity conversion efficiency. The solar system is bordered to the south, east and west by a mature tree canopy and by the Town's transfer station to the north.
- With the anti-reflection coating, the solar panels are expected to exhibit less glare than water (reference: *Clean Energy Results, Questions & Answers – Ground-Mounted Solar Photovoltaic Systems*, issued by Massachusetts Department of Energy Resources, Massachusetts Department of Environmental Protection, and Massachusetts Clean Energy Center, dated June 2015).
- **Noise:**
 - The majority of the project equipment will generate little to no noise. The solar panels do not generate noise. Other solar facility equipment include an automatic circuit recloser, disconnection switches, and utility meters and will be located on a pad near Mill Street. The expected noise from this equipment is negligible, comparable to a household refrigerator. The closest neighbor is the Minuteman Technical Vocational High School, located at 16 Mill Street, which is 150 feet away from this equipment pad location.
 - The proposed inverters are expected to generate low noise (less than 65 dBA at 1m/3.3ft. The inverter location will be at the landfill, approximately 750 feet from the nearest residential building. The inverters will not operate after sunset, and the well-established vegetation (e.g., trees and bushes) will provide an added noise transmission buffer.
 - Construction of the proposed solar facility will occur between 7:30 a.m. and 5:30 p.m. in coordination with the DPW. Work will not occur during important blackout periods established by the NPS in connection with the observance of Patriots Day and the 250-year celebration.
- **Multi-Use Path:**
 - The Town has requested that Lincoln Solar 1, LLC construct a multi-use path along the interconnection route between the transfer station and Mill Street. The path will start/finish adjacent to the intersection of the NPS road with the transfer station entrance, run northwards around the perimeter of the transfer station into the wooded area and finish/start at Mill Street. The route through the woods will be generally along the existing electrical conduit (see Figure 1 and Drawings 2, 3, and 5 of Attachment C). The following should be noted.
 - The multi-use path between the transfer station and Mill Street is generally laid out to follow the alignment of an existing underground water supply main and utility line, where trees were previously cleared and thus minimal tree removal

would be required (an estimated 8 to 10 trees with a diameter of 8 inches or more may be impacted, based on a tree survey performed by Geosyntec in September 2023). The interconnection for the solar development proposes to use an existing conduit if (i) approval is granted by the utility company (discussions are on-going) and (ii) the conduits are determined to be in satisfactory condition. If the existing conduits cannot be used for the solar interconnection, it may be necessary to trench and either repair the existing conduits or install new conduits for the interconnection cables. (See Attachment I for details regarding the ongoing discussion with the utility company Eversource.)

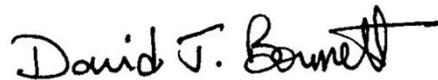
- The multi-use path will be paved with hot-mix asphalt (see Drawing 4 of Appendix C for details). An asphalt access driveway will be installed in the 25 feet between Mill Street and the equipment concrete pad. The driveway will be wide enough to provide safe access to the equipment.
 - The existing perimeter fence on the northern section of the transfer station will be adjusted to accommodate the multi-use path outside of the secured transfer station in an effort to minimize disturbance of existing vegetation (see Drawings 3 and 5).
- **Traffic Control Plan**
 - The proposed traffic control plan is presented in Attachment F.
 - **Emergency Response**
 - The Town Administrator, DPW Superintendent, Conservation Planner, Fire Chief, and Acting Chief of Police discussed the proposed solar development and emergency response on January 16, 2024 (see Attachment G for the details).

CLOSURE

As confirmed with you, the payment of the application fee. has been waived. We look forward to presenting a summary of the project and discussing the application with the Board in June 2024. Should you have any questions, please feel free to contact either of the undersigned.



Youngmin Cho, P.E. (MA)
Senior Engineer
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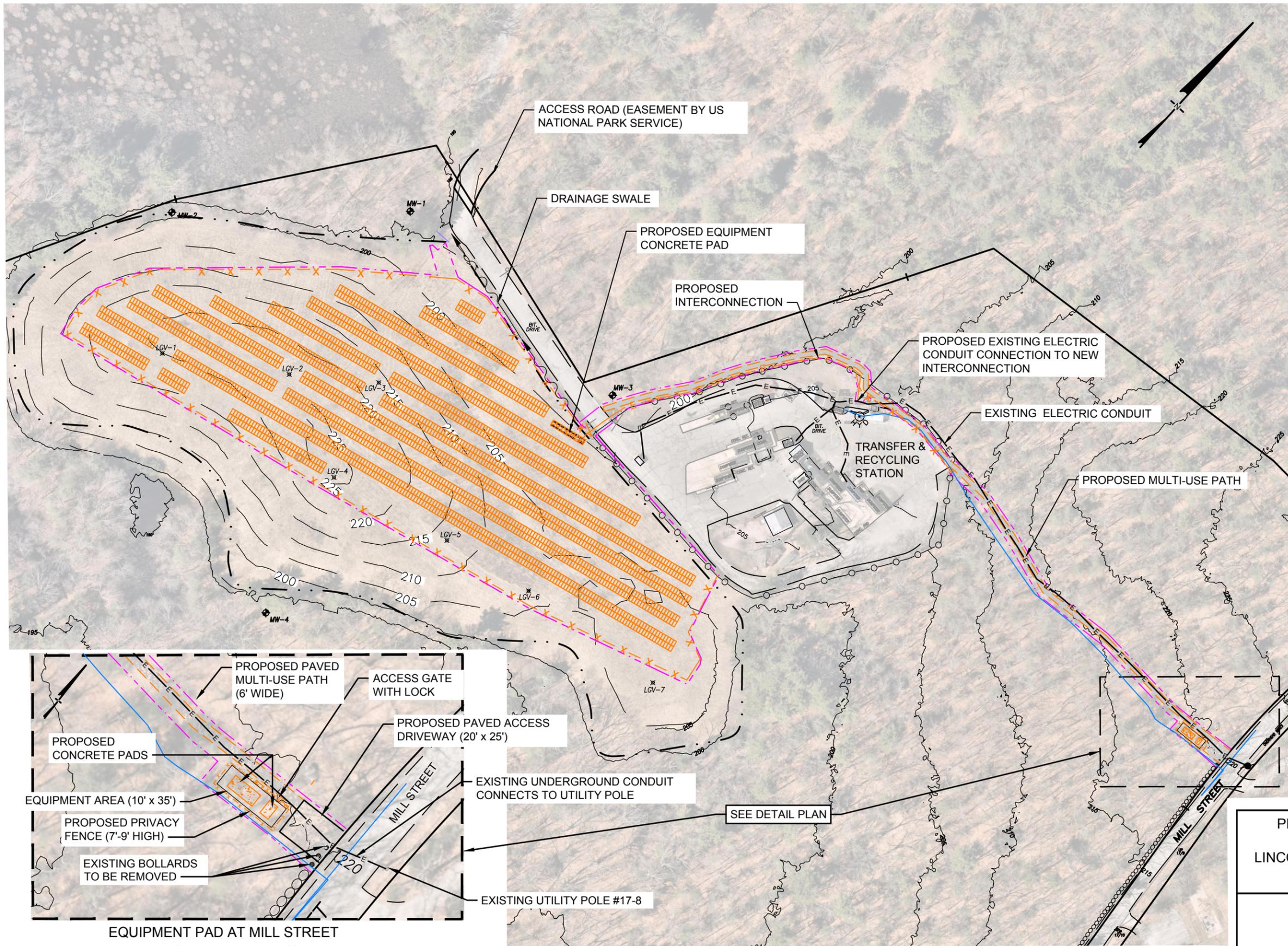


David J. Bonnett, P.E. (MA)
Senior Principal
dbonnett@Geosyntec.com

Attachments:

- Figure 1 – Proposed Solar Development
- Attachment A – SPR Application Cover Form
- Attachment B – Non-Residential Site Plan Application Form and Checklist
- Attachment C – Site Plan (Permit Drawings)
- Attachment D – Certified Abutters List and Legal Ad Authorization
- Attachment E – Photographs of Existing Conditions
- Attachment F – Traffic Control Plan
- Attachment G – Site Development Discussion Letter
- Attachment H – Notice of Intent Order of Conditions
- Attachment I – Eversource Existing Conduit Letter

T:\PROJECTS\CADD\LINCOLN LANDFILL SOLAR DRAWINGS\SHEETS\BEO291 PERMIT F002 (FIG 1 - 04-2024 SITE PLAN)



LEGEND

- PROPERTY LINE
- EXISTING CHAIN-LINK FENCE
- APPROXIMATE WATER SERVICE (NOTE 5)
- EXISTING 5-FT CONTOUR
- APPROXIMATE LIMIT OF WASTE (NOTE 4)
- APPROXIMATE ELECTRIC CONDUIT (NOTE 5)
- EXISTING DRAINAGE SWALE (APPROXIMATE)
- FIRE HYDRANT
- ABANDON SEPTIC SYSTEM
- BOLLARD
- MONITORING WELL
- LANDFILL GAS VENT
- APPROXIMATE LIMIT OF WORK
- PROPOSED SOLAR ARRAY (NOTE 3)
- PROPOSED INTERCONNECTION ROUTE
- PROPOSED FENCE
- PROPOSED MULTI-USE PATH
- PROPOSED ACCESS DRIVE WAY
- UTILITY POLE

NOTES:

1. BASE PLAN, TOPOGRAPHY, EXISTING STRUCTURES AND SITE FEATURES FROM AN AUTOCAD FILE PREPARED BY SNELLING & HAMEL ASSOCIATES, INC. TITLED "SITE PLAN LANDFILL & TRANSFER STATION" DATED OCTOBER 6, 2017 AND FROM A AUTOCAD FILE PREPARED BY WSP USA, INC TITLED "EXISTING CONDITIONS 1 MILL STREET LINCOLN MASSACHUSETTS" DATED AUGUST 25, 2023.
2. AERIAL IMAGE © NEARMAP DATED MARCH 2023.
3. SOLAR PANEL ARRAY LAYOUT, EQUIPMENT PADS AND INTERCONNECTION ROUTE PROVIDED BY HESP, AUGUST 2023 WITH UPDATES PROVIDED THROUGH MAY 2024.
4. APPROXIMATE LIMIT OF WASTE DIGITIZED FROM A SCANNED DRAWING TITLED "CLOSURE OF SANITARY LANDFILL - REGRADING" PREPARED BY SEA CONSULTANTS INC, LAST DATED JUNE 24, 1988.
5. THE APPROXIMATE WATER SERVICE AND ELECTRIC CONDUIT ALIGNMENT PROVIDED BY BULLSEYE LOCATION LCC FROM A OCTOBER 31, 2023 UNDERGROUND SURVEY.
6. THE INTERCONNECTION FOR THE SOLAR DEVELOPMENT PROPOSES TO USE AN EXISTING CONDUIT IF APPROVAL IS GRANTED BY THE UTILITY COMPANY AND IF THE CONDUITS ARE DETERMINED TO BE IN SATISFACTORY CONDITION. IF THE EXISTING CONDUITS CANNOT BE USED FOR THE SOLAR INTERCONNECTION, IT MAY BE NECESSARY TO TRENCH AND EITHER REPAIR THE EXISTING CONDUITS OR INSTALL NEW CONDUITS FOR THE INTERCONNECTION CABLES.
7. KNOX BOXES WILL BE INSTALLED ON THE EQUIPMENT PAD FENCES, TWO BOXES AT MILL STREET AND ONE ONSITE.



PROPOSED SOLAR DEVELOPMENT
LINCOLN LANDFILL & TRANSFER STATION
LINCOLN, MASSACHUSETTS

Acton, MA

FIGURE
1

JUNE 2024



ATTACHMENT A
SPR APPLICATION COVER FORM



TOWN OF LINCOLN

MASSACHUSETTS

16 LINCOLN ROAD, LINCOLN, MA 01773

PLANNING BOARD

(781) 259-2610 / Fax (781) 259-8729

Planning Board Application Cover Form

Applicant Information (Please Print)

Date submitted to Planning Board: May 29, 2024

Name of Applicant: Susan Brodie of Lincoln Solar 1, LLC and
the Town of Lincoln (co-applicant)

Name of Applicant Agent if any: Geosyntec Consultants, Inc.

Address of Applicant: 1 Paragon Drive, Suite 255
Montvale, NJ 07645

Site Address if different: 169 Great Road, Lincoln, MA

Phone and Email Applicant or Agent: 845-405-0600 x223
sbrodie@hespsolar.com

Assessor's Parcel Number: 115_19_0 Zoning District: R1

Type of Application (Check all that apply) , zoning bylaw online at www.lincolntown.org

- Zoning Section 6.0 & Section 17.7: Single Family Residential Site Plan
- Zoning Section 17: Standard Site Plan
- Zoning Section 6.6 & Section 17: Cluster Subdivision Special Permit and Site Plan
- Zoning Section 8.3 & Section 17: R-3 OSRD or R-4 PCD District Site Plan
- Zoning Section 12.5 & Section 17: North Lincoln Special Permit and Site Plan
- Zoning Section 12.6 & Section 17: Wireless Communication Special Permit and Site Plan
- Zoning Section 12.7 & Section 17: South Lincoln Special Permit and Site Plan
- Zoning Section 16: Sign Permit
- Zoning Section 18.5: Fences
- General Bylaw Article XVII: Scenic Road Act

- _____ MGL Chapter 87: Shade Tree Act
- _____ Planning Board Subdivision Rules & Regs: Preliminary Subdivision Plan
- _____ Planning Board Subdivision Rules & Regs: Definitive Subdivision Plan
- _____ Planning Board Subdivision Rules & Regs: Approved Not Required (ANR) Plan
- _____ Other (explain)

Authorizations

Signature of Applicant _____ or Agent
 different) _____ Date

Signature of Property Owner (if _____
 Date 06/03/24

Brief Description of Proposal

A solar facility (approx. 1.2~1.3 MW DC) is proposed to be installed on the former
 Lincoln Landfill, off of Route 2A, next to the Town's active transfer station.
 Solar panels will be mounted on the ballasted racking system with concrete blocks.
 The generated power will be interconnected to the local grid at an existing pole at Mill St.
 The proposed solar facility will be secured with a fully-ballasted chain link fence with
 "High-Voltage, Authorized Personnel Only" signage (at every 200 ft on straight run).

Documents attached (Please refer to zoning or subdivision requirements and checklists)

Site Plan Review Form and Checklist _____

Proposed design drawings (plans and details) _____

Photographs of existing conditions _____

Certified abutter's list _____

Traffic control plan and site development discussion letter _____

Notice of Intent Order of Conditions _____

Submission deadlines

Applications requiring a public hearing with newspaper publication and notification of abutters (all special permit, site plan, sign, scenic road, shade tree, and definitive subdivision applications and fences needing Planning Board approval) must be received

and reviewed for completeness by the Planning Board or its agent by the fourth Tuesday prior to a hearing date.

Applications NOT requiring a public hearing (preliminary reviews, ANR) must be received and reviewed for completeness by the Planning Board or its agent at least ten (10) days in advance of a meeting date.

Persons wishing to discuss issues with the Planning Board outside the application process must submit a letter of explanation at least seven (7) days in advance of a meeting date.

The Planning Board or its agent shall determine the completeness of an application and reserves the right to schedule applications based on the Planning Board's workload within the legal obligations of the Lincoln Zoning Bylaw and MGL Chapter 40A (State Zoning Act).

Fees

\$ 0 Please confer with Planning Board office. All fees must be paid in full for an application to be considered complete.

Approval from other boards; Approval needed from another board for any part of the project: Historical Com___ Historic District Com___ Zoning Board of Appeals___ Conservation Com X Other_____ Please attach any permit, approval or determination already obtained. (See Attachment H for Con Com approval)

ATTACHMENT B
NON-RESIDENTIAL SITE PLAN APPLICATION
FORM AND CHECKLIST

TOWN OF LINCOLN

MASSACHUSETTS

16 LINCOLN ROAD, LINCOLN, MA 01773

PLANNING BOARD

Phone (781) 259-2610 / Fax (781) 259-1677

Planning Board Non-Residential or Multi-Family Site Plan Application Zoning Sections 17.1 - 17.6

Site Information

Map/Lot: 115/19-0 Site Address: 169 North Great Road, Lincoln, MA
Lot area: 1,594,601 sqft Lot Frontage: 878.37 ft Scenic Road: N/A
Existing Structures: Landfill (closed) & Transfer Station
Vacant or undeveloped lot: N/A New Curbcut: None
Gross Floor Area of all existing structures: None sqft (refer to section 23)
Calculated Gross Floor Area: N/A sqft (refer to section 23)
Proposed height of new construction: 7 typ. (9.5 max) ft (refer to section 13)
Proposed height of new construction: N/A # of stories (refer to section 23 half story, basement)

Site Plan Standards and Criteria (Section 17.4)

Please address how your project meets the following standards and criteria of section 17.4:

- Preservation of Landscape:
The proposed solar facility will be constructed on the closed former Lincoln Landfill. The development will involve minimal landscape change. The power interconnection point will be at the utility company's (Eversource's) distribution line on a pole at Mill Street, located directly east of the transfer station. The interconnection cable between the transfer station and Mill Street is proposed to be installed in an existing underground conduit if approval is granted by Eversource (discussions are on-going) and the conduits are determined to be in satisfactory condition. If the existing conduits cannot be used for the solar interconnection it may be necessary to trench and either repair the existing conduits or install new conduit for the interconnection cables. The alignment of any new conduit (along with the multi-use path) will attempt to follow the existing alignment. Two electrical equipment areas are proposed: one within the fenced solar array, near the transfer station entrance gate and one off Mill Street. Per the National Electrical Code, these areas will be fenced. For the Mill Street installation, the fence will be a visual barrier consisting of a simulated wood privacy fence. See the layout and details presented in drawings, Attachment C.
Minor tree branch removal may need to be performed along the southern perimeter of the closed landfill depending on the shade cast on the solar panels. While no grade change is proposed for the project, there is a potential need to lay crushed stone/gravel over a geotextile under the ballasted racking system for stability and leveling. Any disturbed areas on the closed landfill will be re-established.

- **Relation of Buildings to Environment:**
The proposed solar facility will be constructed on the closed former Lincoln Landfill. The development will involve minimal landscape/environmental change. The nearest residential house is approximately 750 ft from the proposed inverter for the solar development. Mature trees around the development serve as a natural visual screen.
- **Building Design and Landscaping:**
The ground-mounted photovoltaic (PV) arrays will be approximately 9.5 ft tall at the highest point, which will be mostly screened by the established mature tree line on the southernmost portion of the array. The Town's Transfer Station is located north of the solar development. Areas to the east and west of the landfill cap are heavily wooded with a natural tree buffer and wetlands. No significant landscape change is expected.
- **Open Space:**
The proposed solar facility will be constructed in an open space on and adjacent to the closed landfill. The interconnection cables are proposed to be run between the transfer station and Mill Street in existing underground conduit originating at/near the northern gate of the transfer station and as discussed above, run parallel with the existing underground water line serving the transfer station. Any new conduit needed for the solar facility interconnection will be run along a similar alignment. The interconnection cable will terminate at an equipment area. The area will be fully enclosed by a privacy fence (see Drawing 6 in Attachment C). At the request of the Town, Lincoln Solar 1, LLC is planning to construct a multi-use path along the interconnection alignment between Mill Street and the transfer station access road. The multi-use path is expected to be 6 ft wide consisting of asphalt placed over dense graded aggregate. An asphalt access driveway will be constructed off Mill Street that will allow safe access to the equipment (see Drawings 4 and 5 in Attachment C for the path and driveway details).
- **Circulation:**
Access to the landfill and transfer station is on a driveway off of Route 2A. The access road is on land owned by the U.S. National Park Service (NPS). The Town has a permit from the NPS to use the access road for transfer station activities and maintains the access road for the purpose of normal activities involving the operations of the transfer station and maintenance/monitoring of the capped landfill. The Town secured a modification to its permit to expand its use of the access road to accommodate the construction and maintenance of the solar facility. Coordination with the Town's Department of Public Works will occur during construction to take into consideration the transfer station's operating hours (Wednesdays and Saturdays from 7:30 am to 3:30 pm) and with the NPS as required under the permit. No permanent parking requirements are proposed for the solar facility. Refer to Attachment G regarding discussions held to date with the Fire and Police Departments. As part of pre-construction activities, an on-site meeting will be held to review construction and discuss public safety along with emergency response. During operations of the solar development, emergency access will be provided through emergency key boxes (i.e., Knox Boxes). In coordination with the Fire and Police Departments, the locations of the Knox Boxes will include near the transfer station entrance on a proposed gate and on the proposed privacy fence around the equipment area by Mill Street.

- **Surface Water Drainage:**

A stormwater drainage swale along the northern perimeter of the landfill discharges stormwater runoff from the landfill's northern slopes toward the wetlands to the west of the landfill; a 12-in diameter reinforced concrete pipe (RCP) is located at the downstream end of the swale underneath a paved access ramp to the toe of the landfill. The remainder of the landfill's stormwater runoff sheet flows to the surrounding wetlands following the landfill closure contours. The Site is completely vegetated with established grass and is mowed by the Lincoln Conservation Department (reference Drawing 3, Attachment C, for the swale location and surrounding wetlands). A temporary stabilized construction entrance and laydown area will be established in the northwestern corner of the landfill. The construction entrance will extend from the existing paved access driveway. The proposed solar project does not include any permanent modifications to the existing stormwater drainage system. The system consists of an existing stormwater drainage swale along the northern perimeter of the landfill. The site layout, topography, and stormwater management features have not changed significantly since the landfill was capped in 1990 (i.e., topography is very similar to the grading shown in the 1988 plans). The ballasted racking system will position the solar modules at an optimal angle to generate power and minimize shading between panels. During rain events, the panels will intercept precipitation, which will run off over the underlying ground surface via the lower panel drip edge. Intermittent gaps (approximately +/- 0.2 in) are provided between panels. Massachusetts Department of Environmental Protection (MassDEP) Wetlands Program Policy 17-1: Photovoltaic System Solar Array Review (Policy 17-1), dated September 23, 2017, recommends that panel drip edges be no greater than 10 ft above the ground surface. The drip edges of the proposed panels at the site will be a minimum of 2 ft above the ground surface. It is not expected that runoff from the panels will cause erosion issues. The solar module racking system will be installed on concrete ballast blocks (typically 1-ft thick by 3-ft wide by 12- to 18.5-ft long). Depending on the ground conditions (such as undulation or steep slope inclination) the ballast blocks and equipment pad will be underlain with crushed stone/gravel over a geotextile. The crushed stone/gravel leveling platforms for the ballast are expected to reduce the velocity of stormwater going down the slope thereby reducing the potential for erosion. Should erosion and sediment control issues occur as a result of the solar module installation, appropriate Best Management Practices, including gravel drip-edge protection, straw wattles, and riprap check dams, as approved by the MassDEP will be implemented accordingly.

Policy 17-1 also states the following: "For peak rate attenuation, the runoff curve number (CN) computations shall be reflective of the final land cover type being proposed below the panels and between the rows of panels. Further, the land cover type must accurately reflect the existing condition in the stormwater calculations; Applicants are cautioned to appropriately evaluate the existing land cover type to avoid post-construction issues arising from stormwater runoff." The land cover type of the area underneath the solar modules will remain vegetated, no significant change from the current conditions. Access will be achieved by utilizing the existing ramp and the proposed construction entrance, located in the northwest corner, off the existing transfer station access road. Additionally, the well-established existing vegetation between the proposed solar array development and the wetlands will continue to act as a natural vegetated buffer.

- **Water and Waste Disposal:**

No water supply or waste disposal systems are proposed. Material brought to the site will be used or properly disposed of off-site.

- **Utility Service:**

The proposed solar facility is a power-generating facility when the sun is out. Power will be transmitted to the transfer station assets and to the local power grid interconnection point on Mill Street (see Drawings 2 and 5, Attachment C) via an underground conduit to an existing pole. An equipment pad and utility-owned electrical infrastructure will be located approximately 25 ft westward from Mill Street and will be fully enclosed in a fenced-in area (see Drawing 6, Attachment C). Access to the enclosed area will be directly behind three existing bollards located across from 18 Mill Street. The bollards will be removed. The access for the emergency responders is described under "Circulation."

The interconnection for the solar development proposes to use an existing conduit if (i) approval is granted by the utility company Eversource (discussions are on-going) and (ii) the conduits are determined to be in satisfactory condition. In connection with this, the Town seeks Eversource's support in facilitating a change of use of the underground conduits Eversource is currently using for the provision of electricity supply from Mill Street to the Town's Transfer Station located adjacent to the landfill. The Town intends to discontinue electricity service from Eversource to the Transfer Station buildings. These loads will instead be served directly from the photovoltaic array using a direct feed from a primary applicant-owned transformer. It is understood that Eversource will remove its equipment (transformer and meter) and either remove or abandon its cables in connection with the discontinuance of the electricity service from Eversource to the Transfer Station. A vehicle-mounted generator will be used for the provision of electricity supply at the Transfer Station in advance of energizing the solar photovoltaic array and during ongoing operations of the array in the event of a grid outage or temporary disruption of electricity supply.

- **Signs:**

A ballasted chain-link fence will be installed around the solar facility on the landfill. 'High-Voltage, Authorized Personnel Only' signages will be placed along the fence at every 200 ft on a straight run. Additionally, warning signs will be posted on the equipment pad fence located adjacent to Mill Street. Signage will be in accordance with the National Electrical Code and will be sufficiently durable to withstand the environment involved (weather resistant material). No new lighting for the solar facility is proposed.

- **Special Features:**

A concrete equipment pad will be installed near Mill Street (see Drawing 5). The screening of the equipment pad is described in the following section.

- **Screening:**

The equipment pad at Mill Street will be screened with a privacy fence. The fence will blend into the wooded area (see Drawing 6, Attachment C).

- **Consistency with the By-law:**

No waivers are being requested.

Site Plan Review Checklist (Section 17.2)

- X Application cover form with signature of applicant and property owner
- n/a Architectural building elevations
- X Site Plan (Scale 1"=40') by professional architect, engineer, or landscape architect (2 full size copies, 6 11x17 size copies):
 - X Property boundaries and easements
 - X Existing and proposed grades
 - X Existing and proposed structures on the property and within 50 feet of the property
 - X All wetlands or floodplains on the property and within 50 feet of the property
 - X Driveways, driveway openings, parking areas, and signs
 - N/A Water supply
 - N/A Refuse and other waste disposal
 - X Surface Water Drainage
 - N/A Existing and proposed lighting (include catalog cuts of proposed lighting)
 - X Existing and proposed landscape features both vegetative and structural
 - N/A Proposed septic areas
- X Photographs of existing conditions
- X Photo renderings of proposed construction (preferred but not required)
- X Certified abutter's list
- X Legal Ad authorization
- n/a Application fee

The Planning Board may, at its discretion, waive any portions of the submission requirements or request additional information that directly relates to the purpose of Section 17.2 or the Planning Boards evaluation of the applicable standards and criteria under Section 17.4. Any request for waiver of submission items should be submitted in writing with the site plan application.

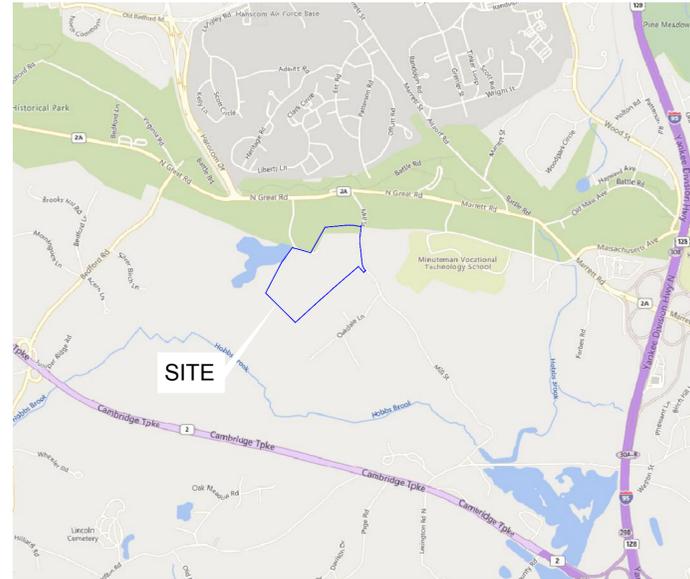
ATTACHMENT C
SITE PLAN (PERMIT DRAWINGS)

PROPOSED SOLAR FACILITY PERMIT DRAWINGS

FORMER LINCOLN LANDFILL AND OPERATIONAL TRANSFER STATION

169 NORTH GREAT ROAD, LINCOLN, MASSACHUSETTS

MARCH 2024
(REVISED JUNE 2024)

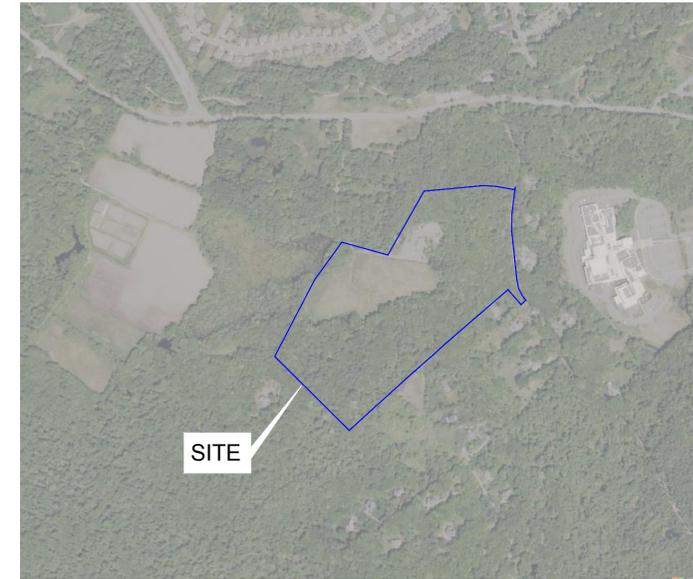


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VICINITY MAP
NOT TO SCALE



Drawing Sheet List	
Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	PROPOSED CONDITIONS
4	DETAILS
5	PROPOSED CONDITIONS INTERCONNECT LAYOUT
6	DETAILS—VISUAL BARRIER AT MILL STREET



SOURCE: ©2023 MICROSOFT CORPORATION © 2023 MAXAR © CNES (2023) DISTRIBUTION AIRBUS DS

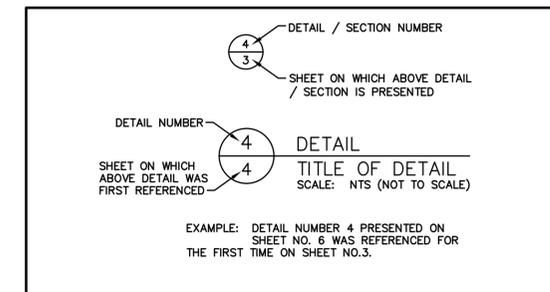
LOCATION MAP
NOT TO SCALE



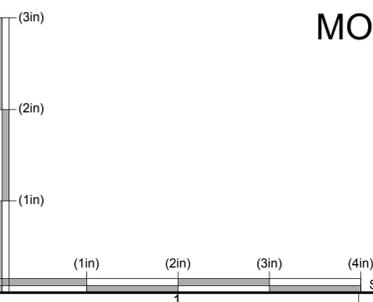
PREPARED FOR:

LINCOLN SOLAR 1, LLC
1 PARAGON DRIVE, SUITE 255
MONTVALE, NEW JERSEY 07645

TOWN OF LINCOLN
16 LINCOLN ROAD
LINCOLN, MASSACHUSETTS 01773



DETAIL IDENTIFICATION LEGEND



SCALE IS BASED ON 22" X 34" NON-REDUCED SHEET SIZE

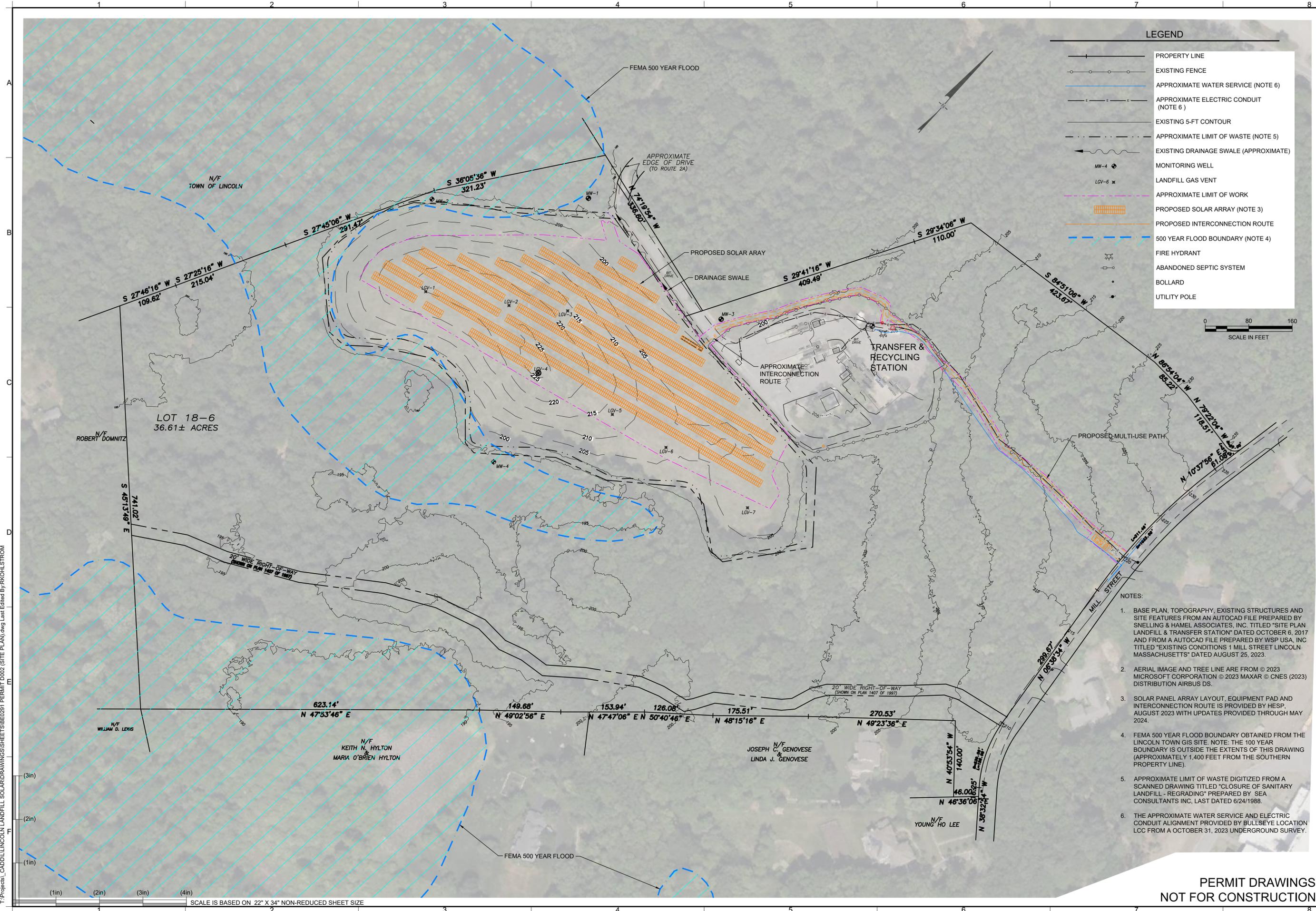
PERMIT DRAWINGS
NOT FOR CONSTRUCTION

DATE:	JUNE 2024	TITLE:	COVER SHEET
PROJECT NO.:	BE0291	PROJECT:	PROPOSED SOLAR DEVELOPMENT
FILE:		SITE:	LINCOLN LANDFILL & TRANSFER STATION LINCOLN, MASSACHUSETTS
DRAWING NO.:	1	DRAWING NO.:	6
		OF	1

DESIGN BY:	YMC RJ	YMC
DRAWN BY:	RMK	
CHECKED BY:	YMC RJ	DJB
REVIEWED BY:		
APPROVED BY:		

 1 PARAGON DRIVE, SUITE 255 MONTVALE, NJ 07645	 289 GREAT ROAD, SUITE 202 ACTON, MASSACHUSETTS 01720 PHONE: 978.263.9888
---	--

 SIGNATURE: _____ DATE: 06/03/24	REV. DATE: 06/03/24 REV. DESCRIPTION: REVISED MILL ST EQUIPMENT AREA RMK, DJB DRN, APP
--	---



LEGEND	
	PROPERTY LINE
	EXISTING FENCE
	APPROXIMATE WATER SERVICE (NOTE 6)
	APPROXIMATE ELECTRIC CONDUIT (NOTE 6)
	EXISTING 5-Ft CONTOUR
	APPROXIMATE LIMIT OF WASTE (NOTE 5)
	EXISTING DRAINAGE SWALE (APPROXIMATE)
	MONITORING WELL
	LANDFILL GAS VENT
	APPROXIMATE LIMIT OF WORK
	PROPOSED SOLAR ARRAY (NOTE 3)
	PROPOSED INTERCONNECTION ROUTE
	500 YEAR FLOOD BOUNDARY (NOTE 4)
	FIRE HYDRANT
	ABANDONED SEPTIC SYSTEM
	BOLLARD
	UTILITY POLE

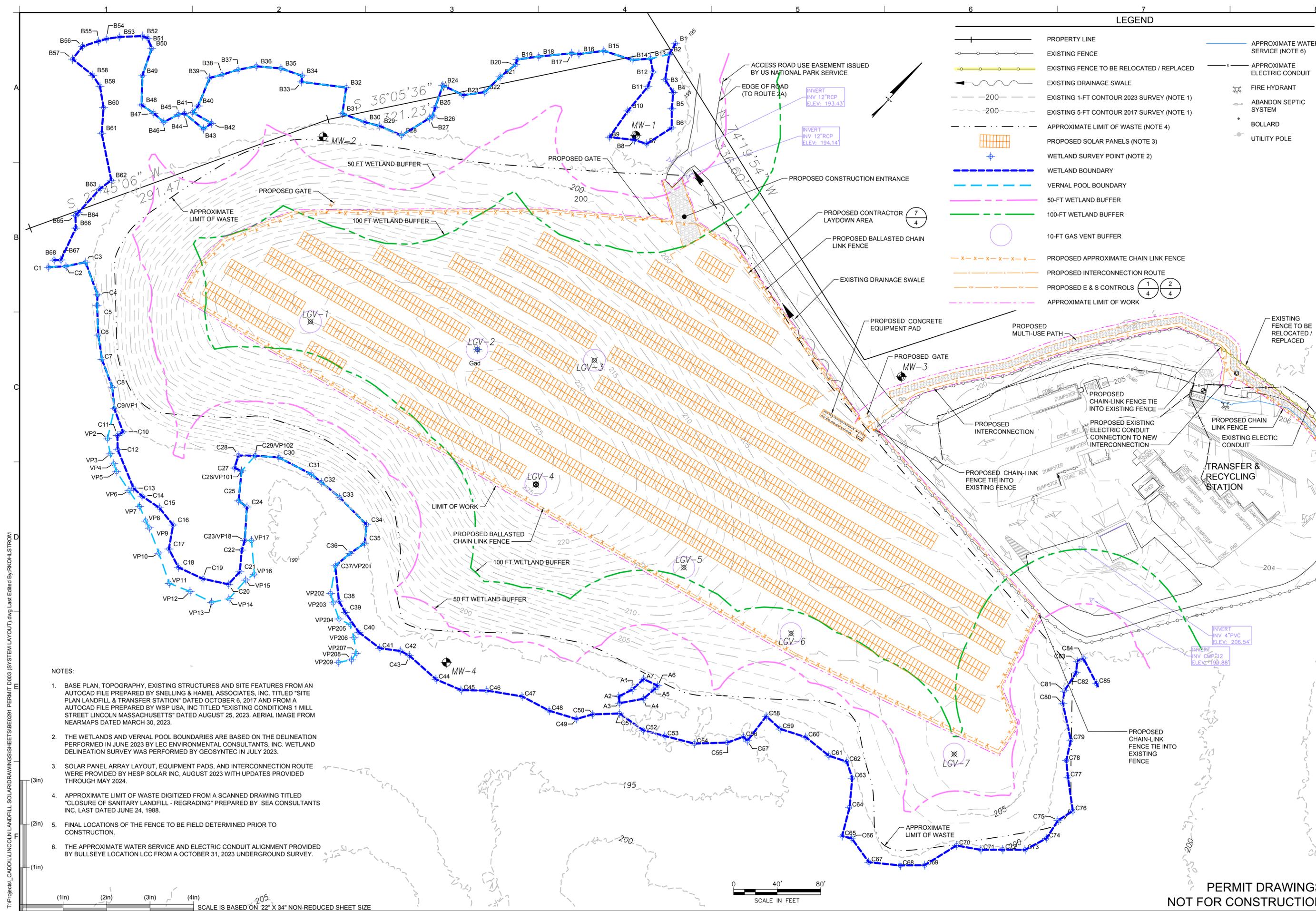
- NOTES:
1. BASE PLAN, TOPOGRAPHY, EXISTING STRUCTURES AND SITE FEATURES FROM AN AUTOCAD FILE PREPARED BY SNELLING & HAMEL ASSOCIATES, INC. TITLED "SITE PLAN LANDFILL & TRANSFER STATION" DATED OCTOBER 6, 2017 AND FROM A AUTOCAD FILE PREPARED BY WSP USA, INC TITLED "EXISTING CONDITIONS 1 MILL STREET LINCOLN MASSACHUSETTS" DATED AUGUST 25, 2023.
 2. AERIAL IMAGE AND TREE LINE ARE FROM © 2023 MICROSOFT CORPORATION © 2023 MAXAR © CNES (2023) DISTRIBUTION AIRBUS DS.
 3. SOLAR PANEL ARRAY LAYOUT, EQUIPMENT PAD AND INTERCONNECTION ROUTE IS PROVIDED BY HESP, AUGUST 2023 WITH UPDATES PROVIDED THROUGH MAY 2024.
 4. FEMA 500 YEAR FLOOD BOUNDARY OBTAINED FROM THE LINCOLN TOWN GIS SITE. NOTE: THE 100 YEAR BOUNDARY IS OUTSIDE THE EXTENTS OF THIS DRAWING (APPROXIMATELY 1,400 FEET FROM THE SOUTHERN PROPERTY LINE).
 5. APPROXIMATE LIMIT OF WASTE DIGITIZED FROM A SCANNED DRAWING TITLED "CLOSURE OF SANITARY LANDFILL - REGRADING" PREPARED BY SEA CONSULTANTS INC. LAST DATED 6/24/1988.
 6. THE APPROXIMATE WATER SERVICE AND ELECTRIC CONDUIT ALIGNMENT PROVIDED BY BULLSEYE LOCATION LCC FROM A OCTOBER 31, 2023 UNDERGROUND SURVEY.

DESIGN BY: YMC RJ DRAWN BY: RMK CHECKED BY: YMC RJ REVIEWED BY: DJB APPROVED BY: YMC	SIGNATURE: [Signature] DATE: 06/03/24
289 GREAT ROAD, SUITE 202 ACTON, MASSACHUSETTS 01720 PHONE: 978 263 9888	
TITLE: SITE PLAN PROJECT: PROPOSED SOLAR DEVELOPMENT SITE: LINCOLN LANDFILL & TRANSFER STATION LINCOLN, MASSACHUSETTS	
DATE: JUNE 2024 PROJECT NO.: BE0291 FILE:	DRAWING NO.: 6 OF 2

PERMIT DRAWINGS
NOT FOR CONSTRUCTION

T:\Projects\CADD\LINCOLN LANDFILL SOLAR\DRAWINGS\BEG291 PERMIT D002 (SITE PLAN).dwg Last Edited By:RKH\HJLSTROM

SCALE IS BASED ON 22" X 34" NON-REDUCED SHEET SIZE



LEGEND	
	PROPERTY LINE
	EXISTING FENCE
	EXISTING FENCE TO BE RELOCATED / REPLACED
	EXISTING DRAINAGE SWALE
	EXISTING 1-FT CONTOUR 2023 SURVEY (NOTE 1)
	EXISTING 5-FT CONTOUR 2017 SURVEY (NOTE 1)
	APPROXIMATE LIMIT OF WASTE (NOTE 4)
	PROPOSED SOLAR PANELS (NOTE 3)
	WETLAND SURVEY POINT (NOTE 2)
	WETLAND BOUNDARY
	VERNAL POOL BOUNDARY
	50-FT WETLAND BUFFER
	100-FT WETLAND BUFFER
	10-FT GAS VENT BUFFER
	PROPOSED APPROXIMATE CHAIN LINK FENCE
	PROPOSED INTERCONNECTION ROUTE
	PROPOSED E & S CONTROLS
	APPROXIMATE LIMIT OF WORK
	APPROXIMATE WATER SERVICE (NOTE 6)
	APPROXIMATE ELECTRIC CONDUIT
	FIRE HYDRANT
	ABANDON SEPTIC SYSTEM
	BOLLARD
	UTILITY POLE

- NOTES:
1. BASE PLAN, TOPOGRAPHY, EXISTING STRUCTURES AND SITE FEATURES FROM AN AUTOCAD FILE PREPARED BY SNELLING & HAMEL ASSOCIATES, INC. TITLED "SITE PLAN LANDFILL & TRANSFER STATION" DATED OCTOBER 6, 2017 AND FROM A AUTOCAD FILE PREPARED BY WSP USA, INC TITLED "EXISTING CONDITIONS 1 MILL STREET LINCOLN MASSACHUSETTS" DATED AUGUST 25, 2023. AERIAL IMAGE FROM NEARMAPS DATED MARCH 30, 2023.
 2. THE WETLANDS AND VERNAL POOL BOUNDARIES ARE BASED ON THE DELINEATION PERFORMED IN JUNE 2023 BY LEC ENVIRONMENTAL CONSULTANTS, INC. WETLAND DELINEATION SURVEY WAS PERFORMED BY GEOSYNTEC IN JULY 2023.
 3. SOLAR PANEL ARRAY LAYOUT, EQUIPMENT PADS, AND INTERCONNECTION ROUTE WERE PROVIDED BY HESP SOLAR INC, AUGUST 2023 WITH UPDATES PROVIDED THROUGH MAY 2024.
 4. APPROXIMATE LIMIT OF WASTE DIGITIZED FROM A SCANNED DRAWING TITLED "CLOSURE OF SANITARY LANDFILL - REGRADING" PREPARED BY SEA CONSULTANTS INC, LAST DATED JUNE 24, 1988.
 5. FINAL LOCATIONS OF THE FENCE TO BE FIELD DETERMINED PRIOR TO CONSTRUCTION.
 6. THE APPROXIMATE WATER SERVICE AND ELECTRIC CONDUIT ALIGNMENT PROVIDED BY BULLSEYE LOCATION LCC FROM A OCTOBER 31, 2023 UNDERGROUND SURVEY.

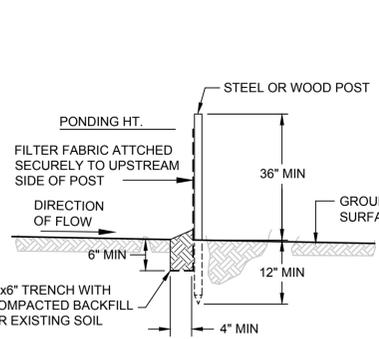
DATE:	JUNE 2024	PROJECT NO.:	BE0291	FILE:		DRAWING NO.:	6	OF	3
PROJECT:	PROPOSED SOLAR DEVELOPMENT	SITE:	LINCOLN LANDFILL & TRANSFER STATION	LINCOLN, MASSACHUSETTS					
DESIGN BY:	YMC RJ	DRAWN BY:	RMK	CHECKED BY:	YMC RJ	REVIEWED BY:	DJB	APPROVED BY:	YMC
REVISIONS:		REVISIONS:		REVISIONS:		REVISIONS:		REVISIONS:	
REV:	1	DATE:	06/03/24	DESCRIPTION:	REVISED MILL ST EQUIPMENT AREA	REV:	1	DATE:	06/03/24

RAYMOND J. YONK
PROFESSIONAL ENGINEER
LICENSE NO. 9824
STATE OF MASSACHUSETTS

289 GREAT ROAD, SUITE 202
ACTON, MASSACHUSETTS 01720
PHONE: 978 263 9888

1 PARAGON DRIVE,
MONTVALE, NJ 07045

**PERMIT DRAWINGS
NOT FOR CONSTRUCTION**

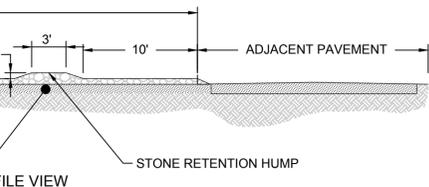


NOTES:

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

1 / **3** **DETAIL**
SILT FENCE

SCALE: N.T.S.

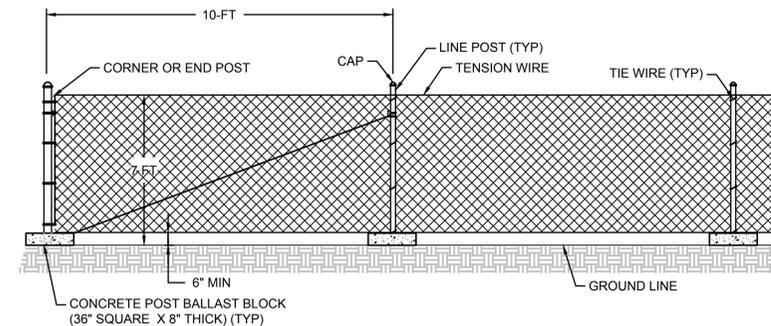


NOTE:

1. INSTALL FIBER ROLL ALONG A LEVEL CONTOUR WITH A SLIGHT SLOPE TO EDGE FOR DRAINAGE.
2. SANDBAGS MAY BE SUBSTITUTED INSTEAD OF WOODEN STAKES.

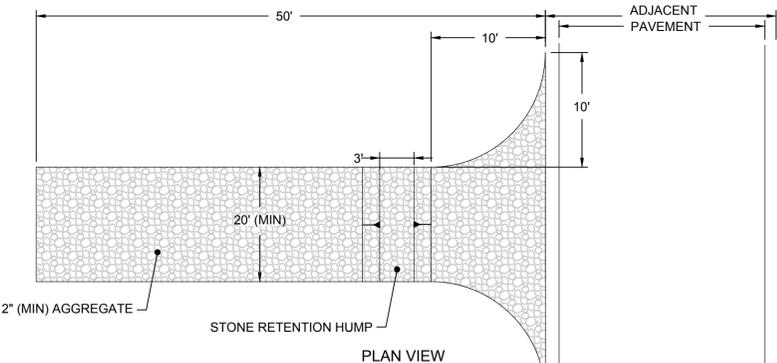
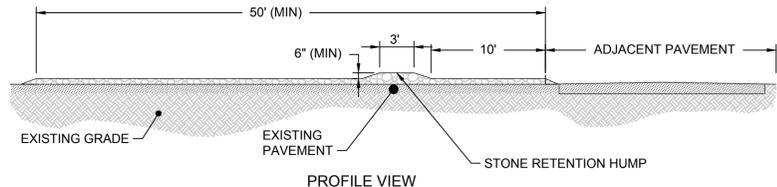
2 / **3** **DETAIL**
FIBER ROLL OR STRAW WATTLE

SCALE: N.T.S.



3 / **3** **DETAIL**
TYPICAL BALLASTED CHAIN LINK FENCE

SCALE: N.T.S.

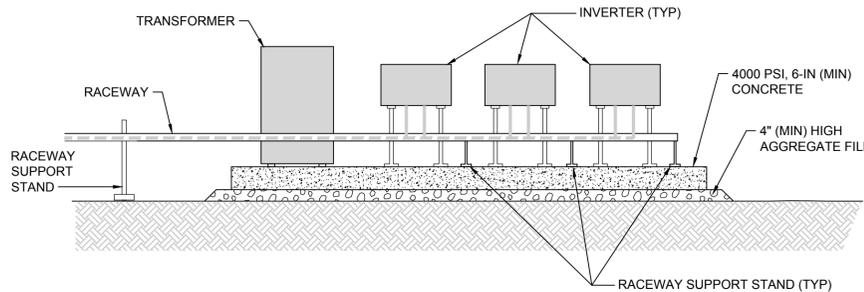


NOTES:

1. INSTALL GEOTEXTILE PRIOR TO PLACING 2-IN (MIN) AGGREGATE.
2. STONE SHALL BE CRUSHED STONE OR APPROVED EQUIVALENT.
3. THE PAD WIDTH SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET WHICHEVER IS GREATER.
4. IF THE SITE CONDITIONS ARE SUCH THAT SEDIMENT IS NOT REMOVED FROM THE VEHICLE TIRES BY THE ENTRANCE PAD, THEN THE TIRES SHALL BE WASHED BEFORE THE VEHICLE ENTERS THE ACCESS ROAD.
5. WASH WATER SHOULD BE DIRECTED INTO A SEDIMENT TRAP OR OTHER APPROVED TRAPPING DEVICE.
6. THE ENTRANCE PAD SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT OF THE SITE.

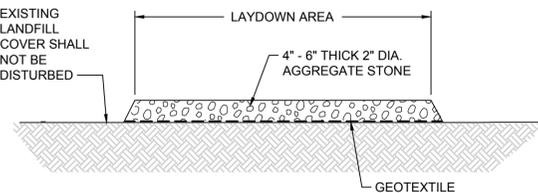
4 / **3** **DETAIL**
TYPICAL CONSTRUCTION ENTRANCE PAD

SCALE: N.T.S.



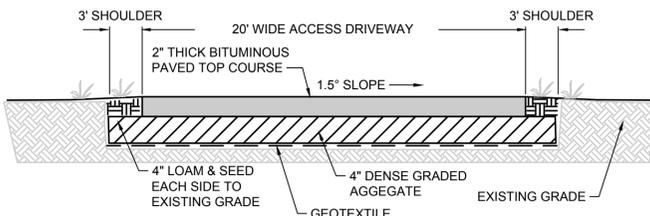
5 / **3** **DETAIL**
TYPICAL EQUIPMENT PAD

SCALE: N.T.S.



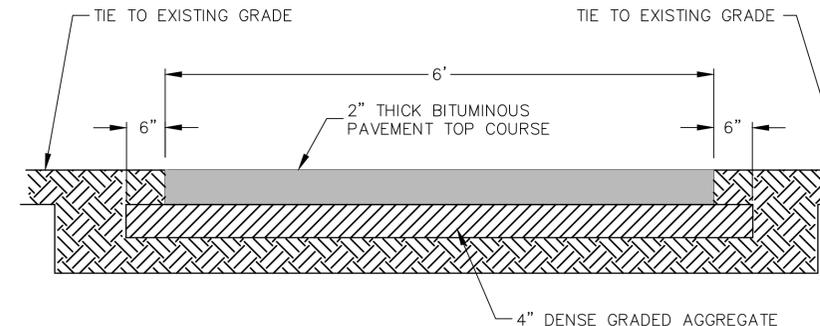
7 / **3** **DETAIL**
GRAVEL LAYDOWN AREA

SCALE: N.T.S.



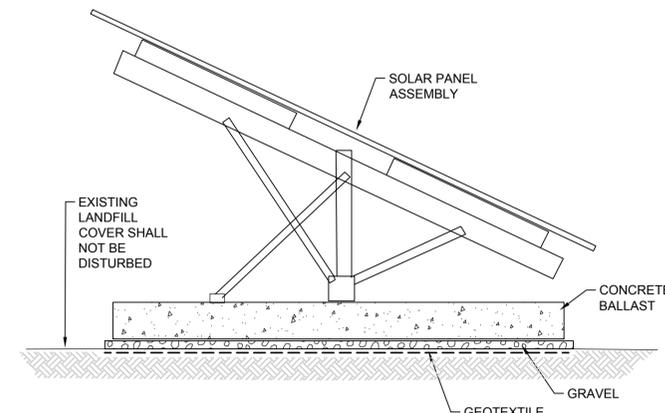
8 / **5** **DETAIL**
ACCESS DRIVEWAY

SCALE: N.T.S.



6 / **5** **DETAIL**
MULTI-USE PATH

SCALE: N.T.S.



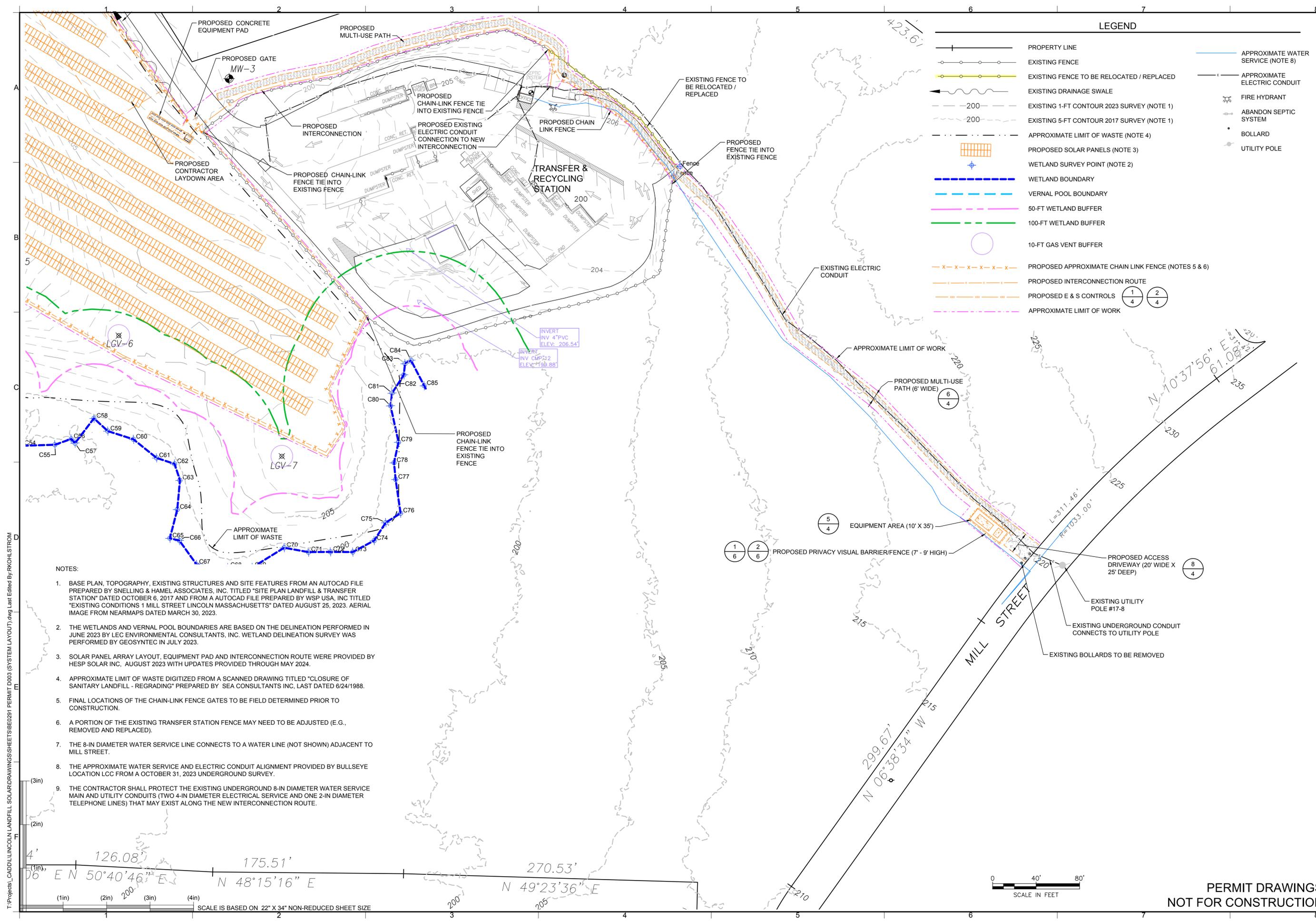
9 / **5** **DETAIL**
SOLAR PANEL BALLAST

SCALE: N.T.S.

T:\Projects\CADD\LINCOLN LANDFILL SOLAR\DRAWINGS\SHEETS\BEB291 PERMIT D004 (DETAILS).dwg Last Edited By: RKCHLSTROM

DATE: JUNE 2024	PROJECT NO.: BE0291	FILE: BE0291	DRAWING NO.: 6	OF 4						
<p>Geosyntec consultants 289 GREAT ROAD, SUITE 202 ACTON, MASSACHUSETTS 01720 PHONE: 978 263 9898</p>										
<p>HESP SOLAR 1 PARAGON DRIVE, SUITE 255 MONTVALE, NJ 07045</p>										
DESIGN BY: YMC RU	DRAWN BY: RMK	CHECKED BY: YMC RU	REVIEWED BY: DJB	APPROVED BY: YMC						
<p>REVISIONS</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>06/03/24</td> <td>REVISED MILL ST EQUIPMENT AREA</td> </tr> </table>					REV	DATE	DESCRIPTION	1	06/03/24	REVISED MILL ST EQUIPMENT AREA
REV	DATE	DESCRIPTION								
1	06/03/24	REVISED MILL ST EQUIPMENT AREA								
<p>TITLE: DETAILS PROJECT: PROPOSED SOLAR DEVELOPMENT SITE: LINCOLN LANDFILL & TRANSFER STATION LINCOLN, MASSACHUSETTS</p>										

PERMIT DRAWINGS
NOT FOR CONSTRUCTION

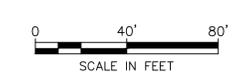


LEGEND	
	PROPERTY LINE
	EXISTING FENCE
	EXISTING FENCE TO BE RELOCATED / REPLACED
	EXISTING DRAINAGE SWALE
	EXISTING 1-FT CONTOUR 2023 SURVEY (NOTE 1)
	EXISTING 5-FT CONTOUR 2017 SURVEY (NOTE 1)
	APPROXIMATE LIMIT OF WASTE (NOTE 4)
	PROPOSED SOLAR PANELS (NOTE 3)
	WETLAND SURVEY POINT (NOTE 2)
	WETLAND BOUNDARY
	VERNAL POOL BOUNDARY
	50-FT WETLAND BUFFER
	100-FT WETLAND BUFFER
	10-FT GAS VENT BUFFER
	PROPOSED APPROXIMATE CHAIN LINK FENCE (NOTES 5 & 6)
	PROPOSED INTERCONNECTION ROUTE
	PROPOSED E & S CONTROLS $\frac{1}{4}$ $\frac{2}{4}$
	APPROXIMATE LIMIT OF WORK
	APPROXIMATE WATER SERVICE (NOTE 8)
	APPROXIMATE ELECTRIC CONDUIT
	FIRE HYDRANT
	ABANDON SEPTIC SYSTEM
	BOLLARD
	UTILITY POLE

- NOTES:
1. BASE PLAN, TOPOGRAPHY, EXISTING STRUCTURES AND SITE FEATURES FROM AN AUTOCAD FILE PREPARED BY SNELLING & HAMEL ASSOCIATES, INC. TITLED "SITE PLAN LANDFILL & TRANSFER STATION" DATED OCTOBER 6, 2017 AND FROM A AUTOCAD FILE PREPARED BY WSP USA, INC TITLED "EXISTING CONDITIONS - 1 MILL STREET LINCOLN MASSACHUSETTS" DATED AUGUST 25, 2023. AERIAL IMAGE FROM NEARMAPS DATED MARCH 30, 2023.
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 4. APPROXIMATE LIMIT OF WASTE DIGITIZED FROM A SCANNED DRAWING TITLED "CLOSURE OF SANITARY LANDFILL - REGRADING" PREPARED BY SEA CONSULTANTS INC, LAST DATED 6/24/1988.
 5. FINAL LOCATIONS OF THE CHAIN-LINK FENCE GATES TO BE FIELD DETERMINED PRIOR TO CONSTRUCTION.
 6. A PORTION OF THE EXISTING TRANSFER STATION FENCE MAY NEED TO BE ADJUSTED (E.G., REMOVED AND REPLACED).
 7. THE 8-IN DIAMETER WATER SERVICE LINE CONNECTS TO A WATER LINE (NOT SHOWN) ADJACENT TO MILL STREET.
 8. THE APPROXIMATE WATER SERVICE AND ELECTRIC CONDUIT ALIGNMENT PROVIDED BY BULLSEYE LOCATION LCC FROM A OCTOBER 31, 2023 UNDERGROUND SURVEY.
 9. THE CONTRACTOR SHALL PROTECT THE EXISTING UNDERGROUND 8-IN DIAMETER WATER SERVICE MAIN AND UTILITY CONDUITS (TWO 4-IN DIAMETER ELECTRICAL SERVICE AND ONE 2-IN DIAMETER TELEPHONE LINES) THAT MAY EXIST ALONG THE NEW INTERCONNECTION ROUTE.

DATE:	JUNE 2024	PROJECT NO.:	BE0291	FILE:		DRAWING NO.:	6	OF	5						
TITLE:	PROPOSED CONDITIONS INTERCONNECT LAYOUT		PROJECT: PROPOSED SOLAR DEVELOPMENT												
SITE:	LINCOLN LANDFILL & TRANSFER STATION		LINCOLN, MASSACHUSETTS												
DESIGN BY:	YMC RJ	DRAWN BY:	RMK	CHECKED BY:	YMC RJ	REVIEWED BY:	DJB	APPROVED BY:	YMC						
REVISIONS:	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>06/03/24</td> <td>REVISED MILL ST EQUIPMENT AREA</td> </tr> </tbody> </table>									REV	DATE	DESCRIPTION	1	06/03/24	REVISED MILL ST EQUIPMENT AREA
REV	DATE	DESCRIPTION													
1	06/03/24	REVISED MILL ST EQUIPMENT AREA													

PERMIT DRAWINGS
NOT FOR CONSTRUCTION



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ATTACHMENT D
CERTIFIED ABUTTERS LIST AND LEGAL AD
AUTHORIZATION



300 feet Abutters List Report

Lincoln, MA
May 07, 2024

Subject Property:

Parcel Number: 115_19_0
CAMA Number: 115_19_0
Property Address: 169 NORTH GREAT RD

Mailing Address: TOWN OF LINCOLN MUNICIPAL
16 LINCOLN RD
LINCOLN, MA 01773

Abutters:

Parcel Number: 114_15_0
CAMA Number: 114_15_0
Property Address: NORTH GREAT RD

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 114_16_0
CAMA Number: 114_16_0
Property Address: 165 NORTH GREAT RD

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 114_19_0
CAMA Number: 114_19_0
Property Address: 131 NORTH GREAT RD

Mailing Address: TOWN OF LINCOLN CONSERVATION
16 LINCOLN RD
LINCOLN, MA 01773

Parcel Number: 115_10_0
CAMA Number: 115_10_0
Property Address: 758 MARRETT RD (PVT)

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

Parcel Number: 115_11_0
CAMA Number: 115_11_0
Property Address: MILL ST

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 115_13_0
CAMA Number: 115_13_0
Property Address: 10 MILL ST

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

Parcel Number: 115_15_0
CAMA Number: 115_15_0
Property Address: 0 MILL ST

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

Parcel Number: 115_16_0
CAMA Number: 115_16_0
Property Address: 14 MILL ST

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

Parcel Number: 115_17_0
CAMA Number: 115_17_0
Property Address: 16 MILL ST

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

Parcel Number: 115_18_0
CAMA Number: 115_18_0
Property Address: 20 MILL ST

Mailing Address: MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398



www.cai-tech.com

This is not a certified abutters list. For a certified abutters list, please contact the Lincoln Assessors Department at 781-259-2611 or blakeleyd@lincolntown.org.



300 feet Abutters List Report

Lincoln, MA
May 07, 2024

Parcel Number: 115_20_0
CAMA Number: 115_20_0
Property Address: MILL ST

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 115_21_0
CAMA Number: 115_21_0
Property Address: MILL ST

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 115_23_0
CAMA Number: 115_23_0
Property Address: NORTH GREAT RD

Mailing Address: UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

Parcel Number: 117_1_0
CAMA Number: 117_1_0
Property Address: 36 MILL ST

Mailing Address: SQUIBB MILDRED G
36 MILL ST
LINCOLN, MA 01773-1706

Parcel Number: 117_13_0
CAMA Number: 117_13_0
Property Address: 9 OAKDALE LN

Mailing Address: JASKIEVIC ADAM MORTON ANDREW
9 OAKDALE LN
LINCOLN, MA 01773-1710

Parcel Number: 117_14_0
CAMA Number: 117_14_0
Property Address: 7 OAKDALE LN

Mailing Address: HAYAT AHSAN BALUCH RAMSHA
7 OAKDALE LN
LINCOLN, MA 01773

Parcel Number: 117_16_0
CAMA Number: 117_16_0
Property Address: 3 OAKDALE LN

Mailing Address: EPHRAIM TR NORMAN A RASSIGA TR
EVE
3 OAKDALE LN
LINCOLN, MA 01773-1710

Parcel Number: 117_17_0
CAMA Number: 117_17_0
Property Address: 5 OAKDALE LN

Mailing Address: OBRIEN TR MARIA C MARIA C OBRIEN
2021 REV TRUST
5 OAKDALE LANE
LINCOLN, MA 01773

Parcel Number: 117_19_0
CAMA Number: 117_19_0
Property Address: 33 MILL ST

Mailing Address: DAMICO JR RALPH P DMAICO EDWINA
33 MILL ST
LINCOLN, MA 01773-1705

Parcel Number: 117_20_0
CAMA Number: 117_20_0
Property Address: 31 MILL ST

Mailing Address: LEE YOUNG HO SUH LAWON
31 MILL ST
LINCOLN, MA 01773

Parcel Number: 117_21_0
CAMA Number: 117_21_0
Property Address: 27 MILL ST

Mailing Address: GENOVESE JOSEPH C GENOVESE
LINDA J
27 MILL ST
LINCOLN, MA 01773-1705

Parcel Number: 117_30_0
CAMA Number: 117_30_0
Property Address: 0 MILL ST

Mailing Address: SQUIBB MILDRED G
36 MILL ST
LINCOLN, MA 01773-1706



www.cai-tech.com

This is not a certified abutters list. For a certified abutters list, please contact the Lincoln Assessors Department at 781-259-2611 or blakeleyd@lincolntown.org.



300 feet Abutters List Report

Lincoln, MA
May 07, 2024

Parcel Number: 118_2_0
CAMA Number: 118_2_0
Property Address: 21 MILL ST

Mailing Address: DOMNITZ ROBERT
21 MILL ST
LINCOLN, MA 01773

*Doc B &
For the Board of Assessors*



www.cai-tech.com

This is not a certified abutters list. For a certified abutters list, please contact the Lincoln Assessors Department at 781-259-2611 or blakeleyd@lincolntown.org.

5/7/2024

Page 3 of 3

DAMICO JR RALPH P
DMAICO EDWINA
33 MILL ST
LINCOLN, MA 01773-1705

TOWN OF LINCOLN
CONSERVATION
16 LINCOLN RD
LINCOLN, MA 01773

DOMNITZ ROBERT
21 MILL ST
LINCOLN, MA 01773

UNITED STATES OF AMERICA
MINUTEMAN PARK
174 LIBERTY ST
CONCORD, MA 01742

EPHRAIM TR NORMAN A
RASSIGA TR EVE
3 OAKDALE LN
LINCOLN, MA 01773-1710

GENOVESE JOSEPH C
GENOVESE LINDA J
27 MILL ST
LINCOLN, MA 01773-1705

HAYAT AHSAN
BALUCH RAMSHA
7 OAKDALE LN
LINCOLN, MA 01773

JASKIEVIC ADAM
MORTON ANDREW
9 OAKDALE LN
LINCOLN, MA 01773-1710

LEE YOUNG HO
SUH LAWON
31 MILL ST
LINCOLN, MA 01773

MINUTEMAN TECH VHS
758 MARRETT RD
LEXINGTON, MA 02173-7398

OBRIEN TR MARIA C
MARIA C OBRIEN 2021 REV T
5 OAKDALE LANE
LINCOLN, MA 01773

SQUIBB MILDRED G
36 MILL ST
LINCOLN, MA 01773-1706

GATEHOUSE MEDIA LLC

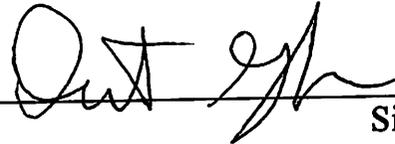
THE CONCORD JOURNAL

Legal Ads

DATE: _____

TO: Gatehouse Media LLC
Legal Notice Department

I hereby authorize Gatehouse Media LLC to bill me directly for the legal notice in the Concord Journal for a(n)



Signature

Daniel Grohman

Printed name

1 Paragon Drive, Suite 255

Address Line 1

Montvale, NJ 07645

Address Line 2

845-422-3755

Phone #

Applicant: please complete lower right portion.

ATTACHMENT E
PHOTOGRAPHS OF EXISTING CONDITIONS

Subject: Existing Site Conditions
Location: 169 N. Great Road, Lincoln, MA (Former Lincoln Landfill)

Photo No. 1

Photo Description: Site access road from Route 2A (to the Lincoln Landfill/transfer station)

Photo Direction: West

Photo Date: June 2023



Photo No. 2

Photo Description: Site access road from Route 2A toward the transfer station (scale house in the background)

Photo Direction: East

Photo Date: October 2023



Subject: Existing Site Conditions
Location: 169 N. Great Road, Lincoln, MA (Former Lincoln Landfill)

Photo No. 3

Photo Description: Existing 12-in diameter reinforced concrete pipe (RCP) culvert at the northwest corner at the intersection of the landfill and access road

Photo Direction: East

Photo Date: June 2023



Photo No. 4

Photo Description: The access ramp over the RCP at the northwestern corner of the site

Photo Direction: West

Photo Date: June 2023



Subject: Existing Site Conditions
Location: 169 N. Great Road, Lincoln, MA (Former Lincoln Landfill)

Photo No. 5

Photo Description: The upper and northern slope where a portion of the proposed solar development will occur on the closed landfill

Photo Direction: Southwest

Photo Date: May 2023



Photo No. 6

Photo Description: The northwest end of the landfill where the proposed solar development will be constructed (solar panel arrays on the landfill top deck/northern slopes and an equipment pad at the landfill toe of slope near the transfer station entrance)

Photo Direction: Southeast

Photo Date: May 2023



Subject: Existing Site Conditions
Location: 169 N. Great Road, Lincoln, MA (Former Lincoln Landfill)

Photo No. 7

Photo Description: Transfer station entrance (underground power interconnection route to generally follow the fence alignment shown in the photo; the fence to be relocated as needed to accommodate a multi-use path along the interconnection route)

Photo Direction: Northeast

Photo Date: October 2023



Photo No. 8

Photo Description: Transfer station where the proposed underground power interconnection route will follow (the fence may need to be relocated as needed for the multi-use path along the interconnection route)

Photo Direction: North

Photo Date: October 2023



Subject: Existing Site Conditions
Location: 169 N. Great Road, Lincoln, MA (Former Lincoln Landfill)

Photo No. 9

Photo Description: Approximate interconnection route (yellow string) from Mill Street toward the transfer station

Photo Direction: West

Photo Date: September 2023



Photo No. 10

Photo Description: The interconnection location (the utility pole across Mill Street)

Photo Direction: East

Photo Date: June 2023



ATTACHMENT F
TRAFFIC CONTROL PLAN



March 2024

Paula Vaughn-MacKenzie
Director of Planning and Land Use
Town of Lincoln
16 Lincoln Rd
Lincoln, MA 01773

Subject: Traffic Control Plan Strategy
Solar Development at the Former Lincoln Landfill
Lincoln, Massachusetts

Dear Ms. Vaughn-MacKenzie:

Lincoln Solar 1, LLC (Primary Applicant) and the Town of Lincoln (Town, Co-Applicant) Department of Public Works (DPW) have prepared this traffic control strategy for the proposed installation of a ground mount photovoltaic system (Solar Facility) at the closed Lincoln Landfill in Lincoln, Massachusetts (Landfill). The remainder of this letter presents the project background and the strategy to control traffic during construction.

BACKGROUND

The proposed Solar Facility will be constructed on top of the Landfill with an underground interconnection duct bank. The current plan calls for an underground duct bank that will cross the entrance of the Lincoln Transfer Station and will follow the existing chain-link fence along the north of the Transfer Station and then through the woods next to the existing underground utility lines to Mill Street. Access to the Landfill and Transfer Station is on a driveway off State Route 2A (North Great Road). The access road is on land owned by the U.S. National Park Service. The Town has an existing special use permit with NPS to utilize and maintain the access road for normal activities involving the operations of the Transfer Station and maintenance of the closed Landfill. The Town has sought and secured an expansion to the NPS permit to use the access road to accommodate the construction and annual maintenance of the Solar Facility on the closed landfill. The Transfer Station is currently open on Wednesdays and Saturdays from 7:30 A.M. to 3:30 P.M. ✓

TRAFFIC CONTROL PLAN STRATEGY

A contractor will be chosen through a bidding process once all the various permits have been approved. The contractor will be required to submit a work plan that will incorporate traffic control. This will include the following.

Delivery:

- Delivery of construction materials will avoid the Transfer Station operation hours (i.e., Wednesdays and Saturdays from 7:30 A.M. to 3:30 P.M.) and scheduled Patriots' Day Events.
- Deliveries of construction materials will be coordinated with the Transfer Station and NPS. Depending on the amount of anticipated delivery trucks, police details at the entrance from State Route 2A (North Great Road) will be requested if required. ✓

Parking:

- Wednesday and Saturday: HESP's contractors will coordinate offsite parking for their employees and minimal vehicles will be parked on site. ✓
- Other days: The Transfer Station will be used for parking for HESP and its contractors.

Laydown:

- Material stockpile/laydown area will be established off along the perimeter of the landfill. ✓
- Depending on the space availability, portions of the Transfer Station may be used upon written approval by the DPW superintendent.

During Underground Interconnection Trenching:

- Trenching across the Transfer Station entrance – Trenching will not be conducted during the Transfer Station operation dates. Until the pavement is restored, the trench will be covered with metal plates.
- Trenching the remainder of the interconnection to Mill Street – It is not anticipated that trenching will interfere with the normal vehicle traffic of the Transfer Station or Mill Street. ✓

CLOSURE

The implementation of traffic control during construction will be through close collaboration between Lincoln Solar 1, LLC, the Town's DPW and NPS. Details are subject to change based on the discretion of the Town's DPW. ✓



Should you have any questions, please feel free to contact either of the undersigned.

Sincerely,

Lincoln Solar 1, LLC

Town of Lincoln, Department of Public Works

A handwritten signature in black ink, appearing to read 'Amber', written over a horizontal line.

Chief Operations Officer

sbrodie@hespsolar.com

A handwritten signature in black ink, appearing to read 'CMA Bibb', written over a horizontal line.

Superintendent

bibboc@lincolntown.org

3-12-24

Cc: Tim Higgins, Town Administrator

ATTACHMENT G
SITE DEVELOPMENT DISCUSSION LETTER



Draft March 2024
Paula Vaughn-MacKenzie
Director of Planning and Land Use

Town of Lincoln
16 Lincoln Rd
Lincoln, MA 01773

Subject: Solar Development at the Former Lincoln Landfill
Lincoln, Massachusetts

Dear Ms. Vaughn-MacKenzie:

Lincoln Solar 1, LLC (Primary Applicant) and the Town of Lincoln (Town, Co-Applicant) Department of Public Works (DPW) have been preparing documents to permit a solar photovoltaic system (Solar Facility) at the Town's closed and capped landfill, located off of North Great Road in Lincoln.

The Primary Applicant has been actively engaged with Town staff and stakeholders in the review of the plans for the Solar Facility in addition to the path for interconnection to the Eversource distribution system on Mill Street in Lincoln.

Further, working with the Town's Owner's Project Manager, Beth Greenblatt of Beacon Integrated Solutions, the Primary Applicant has provided the necessary supporting documentation to host a detailed discussion on January 16, 2024 about the proposed Solar Facility with the Lincoln Fire and Police Departments. Ms. Greenblatt has advised the Primary Applicant that both the Fire Chief and the Acting Chief of Police expressed no objection to the proposed Solar Facility project.

The Site Plan contained herein was presented and reviewed by the following Town stakeholders:

- Tim Higgins, Lincoln Town Administrator
- Chris Bibbo, Superintendent of Public Works
- Michele Gzrenda, Conservation Director
- Stacy Carter, Conservation Planner
- Brian Young, Lincoln Fire Chief
- Sean Kennedy, Acting Chief of Police
- Beth Greenblatt, Beacon Integrated Solutions

Upon initiation of the construction, the Primary Applicant will hold an onsite meeting with representatives of the Fire Department and Police Department and discuss the detailed construction



plans, public safety access to the project area and equipment for any emergency situations, and to discuss the Primary Applicants public safety personnel training plan.

Should you have any questions, please feel free to contact me or Beth Greenblatt on behalf of the Town at 617-469-2172.

Sincerely,

A handwritten signature in black ink, appearing to read 'Susan Brodie', is positioned above the printed name.

Susan Brodie

Cc: Tim Higgins, Town Administrator
Chris. Bibbo, Superintendent of Public Works
Brian Young, Lincoln Fire Chief
Sean Kennedy, Acting Chief of Police
Beth Greenblatt, Beacon Integrated Solutions

ATTACHMENT H
NOTICE OF INTENT ORDER OF CONDITIONS



LINCOLN CONSERVATION COMMISSION

16 LINCOLN ROAD
LINCOLN CENTER, MA 01773
781-259-2612

CONSERVATION@LINCOLNTOWN.ORG

MEMO TO: Susan Brodie, HESP Solar

FROM: Stacy Carter, Conservation Planner

DATE: December 18, 2023

RE: **Order of Conditions – Town of Lincoln Landfill Solar Facility –
DEP#203-0965**

Enclosed please find the **ORIGINAL** Order of Conditions (the Order) issued pursuant to the Wetlands Protection Act, General Laws, Ch. 131, Sec. 40 and Lincoln's Wetland Protection Bylaw for the above-referenced project.

No work on the project may begin until the following requirements have been satisfied by the Applicant:

- The Applicant must wait until **All Appeal Periods Have Lapsed**: Whether a permit is approved or denied, any abutter, the applicant, or a 10-citizen group has 10 business days to appeal to the state Department of Environmental Protection on the grounds that the Commission failed to properly enforce the law.
- The Applicant has the original **Order recorded** at the Middlesex South Registry of Deeds and has forwarded proof of recording to the Conservation Commission (as required in General Condition 9 of the Order).
- The Applicant has received all other applicable local and/or state permits.
- The Applicant has **read and understand the enclosed Order of Conditions**, especially Lincoln's Findings and Conditions on Pages 8a-8f). A copy of the special conditions has been attached to this memo for easy reference. It is the responsibility of the owner to ensure that all conditions and approved plans are compiled with. Deviation from the approved plans or conditions may result in a stop work order or further enforcement.
- The erosion controls (12-inch compost filter sock) shall be properly installed as shown on the Plan of Record and/or field adjusted in consultation with conservation staff during the pre-construction meeting and shall be the line establishing the Limit of Work. No clearing of vegetation or disturbance of soil shall occur prior to the Pre-Construction Meeting.
- The Conservation Office shall be notified one week prior to construction to allow for a pre-construction meeting (781-259-2612). The following people shall be present for the pre-construction meeting: Conservation staff, the Applicant or their representative, the contractors and the individual responsible for erosion control monitoring. The purpose of the pre-construction site visit shall be to:
 - Review the Order of Conditions and the approved limit of work,
 - Discuss erosion control monitoring and confirm who is responsible for maintenance of erosion controls,
 - Determine if additional erosion control barriers are necessary and, if so, where these shall be installed,
 - The Applicant shall provide the Commission (in writing) with the names, addresses, business number of the project supervisor. The Applicant shall also notify the Commission in writing of any changes in this information.

If you have any questions, please don't hesitate to contact the office at 781-259-2612.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 MassDEP File #:203-0965
 eDEP Transaction
 #:1651857
 City/Town:LINCOLN

A. General Information

1. Conservation Commission LINCOLN

2. Issuance a. OOC b. Amended OOC

3. Applicant Details

a. First Name	SUSAN	b. Last Name	BRODIE
c. Organization	LINCOLN SOLAR 1, LLC		
d. Mailing Address	1 PARAGON DRIVE, SUITE 255		
e. City/Town	MONTVALE	f. State	NJ
		g. Zip Code	07645

4. Property Owner

a. First Name		b. Last Name	
c. Organization	TOWN OF LINCOLN		
d. Mailing Address	16 Lincoln Road		
e. City/Town	LINCOLN	f. State	MA
		g. Zip Code	01773

5. Project Location

a. Street Address	169 NORTH GREAT ROAD		
b. City/Town	LINCOLN	c. Zip Code	01773
d. Assessors	115	e. Parcel/Lot#	19/0
Map/Plat#			
f. Latitude	42.44534N	g. Longitude	71.28133W

6. Property recorded at the Registry of Deed for:

a. County	b. Certificate	c. Book	d. Page
SOUTHERN MIDDLESEX		12434	100

7. Dates

a. Date NOI Filed :	11/16/2023	b. Date Public Hearing Closed:	12/6/2023	c. Date Of Issuance:	12/18/2023
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8. Final Approved Plans and Other Documents

a. Plan Title:	b. Plan Prepared by:	c. Plan Signed/Stamped by:	d. Revised Final Date:	e. Scale:
PROPOSED SOLAR FACILITY PERMIT DRAWINGS ? FORMER LINCOLN LANDFILL AND OPERATIONAL TRANSFER STATION	GEOSYNTEC CONSULTANTS, HESP SOLAR	DAVID J BONNETT	September 15, 2023	1" = 40'

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:203-0965
eDEP Transaction #:1651857
City/Town:LINCOLN

Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.

Check all that apply:

a. <input checked="" type="checkbox"/> Public Water Supply	b. <input checked="" type="checkbox"/> Land Containing Shellfish	c. <input checked="" type="checkbox"/> Prevention of Pollution
d. <input checked="" type="checkbox"/> Private Water Supply	e. <input checked="" type="checkbox"/> Fisheries	f. <input checked="" type="checkbox"/> Protection of Wildlife Habitat
g. <input checked="" type="checkbox"/> Ground Water Supply	h. <input checked="" type="checkbox"/> Storm Damage Prevention	i. <input checked="" type="checkbox"/> Flood Control

2. Commission hereby finds the project, as proposed, is:

Approved subject to:

- a. The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

Denied because:

- b. The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act , and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

- 3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a). 34 _____
a. linear feet

Inland Resource Area Impacts:(For Approvals Only):

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	_____	_____	_____	_____
	a. linear feet	b. linear feet	c. linear feet	d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
	_____	_____		
	e. c/y dredged	f. c/y dredged		



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

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Provided by MassDEP:
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7.Γ Bordering Land Subject to Flooding	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Cubic Feet Flood Storage	a. square feet	b. square feet	c. square feet	d. square feet
	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	e. cubic feet	f. cubic feet	g. cubic feet	h. cubic feet
8.Γ Isolated Land Subject to Flooding	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Cubic Feet Flood Storage	a. square feet	b. square feet	<u> </u>	<u> </u>
	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9.Γ Riverfront Area	<u> </u>	<u> </u>	<u> </u>	<u> </u>
Sq ft within 100 ft	a. total sq. feet	b. total sq. feet	<u> </u>	<u> </u>
	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	g. square feet	h. square feet	i. square feet	j. square feet

Coastal Resource Area Impacts:

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10.Γ Designated Port Areas	Indicate size under Land Under the Ocean, below			
11.Γ Land Under the Ocean	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	<u> </u>	<u> </u>
	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. c/y dredged	d. c/y dredged	<u> </u>	<u> </u>
12.Γ Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13.Γ Coastal Beaches	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
14.Γ Coastal Dunes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
15.Γ Coastal Banks	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. linear feet	b. linear feet	<u> </u>	<u> </u>
16.Γ Rocky Intertidal Shores	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	<u> </u>	<u> </u>
17.Γ Salt Marshes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet
18.Γ Land Under Salt Ponds	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	<u> </u>	<u> </u>
	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. c/y dredged	d. c/y dredged	<u> </u>	<u> </u>
19.Γ Land Containing Shellfish	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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City/Town:LINCOLN

9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

" Massachusetts Department of Environmental Protection"

[or "MassDEP"]

File Number : "203-0965"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order(the "Project") is (1) is not (2) subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;
 - a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

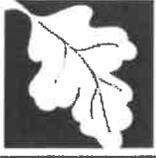
MassDEP File #:203-0965

eDEP Transaction #:1651857

City/Town:LINCOLN

in place until the site is fully stabilized.

- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.
- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and



**Massachusetts Department of Environmental
Protection**

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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eDEP Transaction #:1651857
City/Town:LINCOLN

3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
 - i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
 - j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
 - k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
 - l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions:

SEE ATTACHED FINDINGS AND SPECIAL CONDITIONS



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No

2. The Conservation Commission hereby (check one that applies):

a. DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order or Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b. APPROVES the proposed work, subject to the following additional conditions.

1. Municipal Ordinance or Bylaw LINCOLN
WETLANDS
PROTECTION
BYLAW

2. Citation ARTICLE XVIII

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:
SEE ATTACHED FINDINGS AND SPECIAL CONDITIONS

**Finding of Fact and Special Conditions
under the Wetlands Protection Act and
Lincoln Wetlands Protection Bylaw**
DEP File# 203-0965
Lincoln Solar 1, LLC
169 North Great Road, Lincoln MA (115-19-0)

Background information

LEC Environmental Consultants, Inc filed a Notice of Intent on behalf of Lincoln Solar 1, LLC (the “Applicant”) for installation of a solar facility on the former Town of Lincoln Landfill site (115-19-0). The subject property is owned by the Town of Lincoln (“the Owner”) and is currently maintained as an open meadow over a capped landfill. The meadow slopes down in most directions towards wetlands, and is abutted by the Lincoln Transfer Station on one side.

Wetland Resource Areas – The wetland resource areas on this property were delineated on May 17, June 1, and October 10, 2023. The capped landfill site is bounded by Bordering Vegetated Wetland (BVW) on the east, west and south sides. An Isolated Vegetated Wetland (IVW) is located south of the landfill between the landfill and BVW, and there are also two vernal pools located in the nearby BVW. Work is proposed within the 100-ft Buffer Zone subject to regulation under the MA Wetlands Protection, M.G.L. Chapter 131, Section 40 and in the Upland Buffer Zone Resource Area subject to regulation under the Lincoln Wetlands Protection Bylaw (Article XVIII).

Hearing Process

The Commission opened a public hearing on December 6, 2023. The project will take place entirely on the capped landfill, and all of the Upland Buffer Zone affected is previously altered land. The proposed work will involve the installation of a 1-megawatt solar generating system, which will include construction of a perimeter fence, access road, interconnection route to Mill Street, and stormwater management features. The proposed perimeter fence for the solar array will have a six-inch gap to allow wildlife passage through the solar field. Access will be through the Transfer Station road and across the existing culvert bridge into the field.

Since the capped landfill may not be penetrated, the solar panels will be held in place by a ballasted racking system. Gravel patches will be spread over a geotextile to create a firm and level surface for the concrete ballast blocks to sit on. Power generated by the solar facility will need to be connected to the power grid on Mill Street through an underground conduit. The conduit will run from the landfill solar facility along the northern perimeter fence of the transfer station, and then through the woods to Mill Street. The perimeter fence work will alter 893 sq.ft. and 992 linear feet in the Upland Buffer Zone, the solar panels will alter 713 sq.ft. in the Upland Buffer Zone, and the access road will alter 1,060 sq.ft. in the Upland Buffer Zone. The Applicant proposes managing stormwater through the use of drip edges that would interrupt and slow flow rates. The Applicant will also reseed the field after construction, so there would be strips of vegetation between the solar panel rows that will help filter stormwater flow.

Alternatives Analysis and Mitigation - The Applicant considered alternative project designs that would have sited the interconnection route to Mill Street within the Buffer Zone, but decided on the current proposed design for the least Buffer Zone impact. Commissioners noted that they should not require mitigation plantings due to the requirement that the capped landfill be maintained as a meadow. The Applicant stated that the work proposed on the capped landfill will not disturb species in the nearby vernal pools as the landfill habitat itself is of little to no value to these species, which are generally forest-

dwelling. Erosion controls are proposed during construction around the limit of work to prevent movement of soil toward the wetlands.

Public comments – Maria O’Brien, abutter, asked if there is any expected effect on water quality for residents who have wells off of Mill Street. The Applicant stated that the drainage pattern of stormwater will remain the same post-construction as current conditions. The construction materials that will be used are inert, and therefore there should be no impact to water quality. Erosion and sedimentation controls will be in place during construction to prevent silt movement off-site. The City of Cambridge Water Department reviewed the project and had no concerns about the proposed work.

Findings

- a. **Public Hearings** were held for this project on December 6, 2023.
- b. **Site Visit** – A site visit was conducted on December 6, 2023. Individual commissioners visited the site at other times as well.
- c. **Wetland Resource Area Interests** - The Commission finds that the areas in which work is proposed are significant to the following interests of the Wetlands Protection Act (Chapter 131, Section 40) and of the Lincoln Wetlands Protection Bylaw: Public Water Supply, Private Water Supply, Groundwater Supply, Storm Damage Prevention, Prevention of Pollution, Protection of Wildlife, Fisheries Habitat, and Flood Control. The Commission also finds that the areas in which work is proposed are significant to the following additional resource area values protected by the Lincoln Wetlands Protection Bylaw: erosion and sedimentation control, recreation, habitat for rare plants and animals, and water quality values deemed important by the community.
- d. Compliance with the MA Wetlands Protection Act (310 CMR 10.00)
 - a. The Commission finds that the work will not alter or adversely impact adjoining wetland resource areas, as the work is entirely within Buffer Zone.
- e. Compliance with the Lincoln’s Wetland Protection Bylaw and Regulations
 - i. Section 7.1 – General Principles – states that the “*Commission discourages any work or activity within 100 feet of Wetland Resource Areas...and encourages applicants to pursue reasonable alternatives outside the Upland Buffer Zone Resource Areas whenever possible.*” The Applicant stated that the solar facility has been sized to minimize impact to the Upland Buffer Zone Resource Area while maximizing energy production. According to the Applicant, removal of all structures from the Upland Buffer Zone Resource Area would significantly decrease the energy production of the field. The Commission felt that the production of green energy was an appropriate use for the capped landfill, and that construction on the landfill would not impact the interests of the wetland resource areas.
 - ii. Section 7.2 – Requirement of continuous naturally vegetated buffer strip – states that “*If the total amount of new impervious and semi-pervious surface area created by a project within the Upland Buffer Zone Resource Area is greater than 400 square feet or is closer than 70 feet from the Wetland Resource Area, the Commission will require the applicant to provide clear and convincing evidence that the project will not have significant adverse impact on any adjoining Wetland Resource Area.*” In addition, Section 2 of the Bylaw states that “*It shall be presumed that significant adverse effects on the values of a resource area protected by this bylaw will result from any...alteration...within 100 feet of any vernal pool...unless the applicant demonstrates by clear and convincing evidence that such significant adverse impact will not occur.*” The Applicant proposed the use of erosion controls during construction, and the permanent stabilization of any exposed soils after construction. The

majority of the Buffer Zone is maintained as an open meadow on a capped landfill, and therefore it is unlikely that the installation of ballast-mounted solar panels and a perimeter fence will have an adverse impact on adjoining wetland resource areas. The Applicant stated that the drip edge system of the panels will prevent erosion from stormwater flow, and that the stormwater volume and flow rate across the landfill toward the wetlands will be the same post-construction as current conditions. In addition, the Applicant stated that the work proposed on the capped landfill will not disturb species in the nearby vernal pools as the landfill habitat itself is of little to no value to these species, which are generally forest-dwelling. The perimeter fence of the facility will have a six-inch gap to allow for movement of small wildlife, and wildlife will be able to move around the ballasted panels as well.

- iii. Section 7.3 - Previously altered Upland Buffer Zone Resource Areas – states that *“In the case of lots where the Upland Buffer Zone Resource Areas has previously been altered, the Commission may require mitigation in the form of plantings to enhance the vegetated buffer before allowing any further alteration in any part of the Upland Buffer Zone Resource Area.”* The Commission is not requiring additional plantings due to the nature of the site – plantings may not be installed on a capped landfill, and the rest of the Buffer Zone on site is intact forest or the Lincoln Transfer Station.
- iv. Section 7.4 - Temporary disturbance - states that *“The Commission may permit temporary disturbance in a naturally vegetated buffer strip in cases where the applicant has proven to the Commission’s satisfaction that no harm is likely to result to the Upland Buffer Zone Resource Areas as a result of the temporary disturbance.”* Not applicable – the proposed work is not temporary in nature.
- v. Section 7.8 - Permanent Structures in Upland Buffer Zone Resource Areas – states that *“In certain cases, e.g. where there is already an existing structure within a Wetland Resource Area or Upland Buffer Zone Resource Area, or in the case of a legal building lot created prior March 29, 2003, the Commission, in order to avoid hardship to the property owner, may permit structures or additions to structures within the Upland Buffer Zone Resource Area. In such cases, the Commission may require mitigation in the form of plantings to enhance the vegetated buffer.”* The Commission is not requiring additional plantings due to the nature of the site – plantings may not be installed on a capped landfill, and the rest of the Buffer Zone on site is intact forest or the Lincoln Transfer Station.
- f. Decision – On December 6, 2023 the Commission voted 4-0 to close the hearing and issue an Order of Conditions approving the project under the Act and Bylaw as described, with the special conditions listed below. The Commission finds that the Applicant’s proposal to use erosion controls during construction is sufficient to protect the values of the Bylaw and the WPA.

Approved Plans and Documents

- “Proposed Solar Facility Permit Drawings – Former Lincoln Landfill and Operational Transfer Station” prepared by Geosyntec Consultants and HESP Solar, and dated September 15, 2023. This plan is hereafter referred to as the “Plan of Record”.

Special Conditions under the Wetlands Protection Act and Lincoln Wetlands Protection Bylaw

(In addition to the standard DEP conditions #1-19)

Overall Conditions:

20. It shall be understood by the Applicant that the issuance of this Order of Conditions shall apply to both the Massachusetts Wetlands Protection Act and the Town of Lincoln Wetlands Protection Bylaw & Regulations. All work under this Order is subject to the jurisdiction of both this State law and the local bylaw. Any proposed or executed changes in the Plan of Record shall be submitted to the Lincoln Conservation Department for their review. The Department will determine if the change or changes are substantial enough to require an Amended Order of Conditions or the filing of a new Notice of Intent. The correction of any errors in the plans or information submitted by the Applicant shall be considered changes, and the above procedures shall be followed.
21. This document shall be included in all construction contracts, subcontracts, and specifications dealing with the work proposed and shall supersede any conflicting contract requirements. The Applicant shall assure that all contractors and other personnel performing the permitted work are fully aware of the permit's terms and conditions.
22. Work shall be halted on the site if an Agent of the Commission or DEP determines that any of the work is not in compliance with this Order of Conditions.
23. If any **unforeseen problem** occurs during the construction which affects any of the seven applicable statutory interests of the Wetlands Protection Act, Chapter 131, Section 40, and/or any of the additional applicable interests of the Lincoln Wetlands Protection Bylaw, upon discovery, the Applicant shall notify the Conservation Commission, and an immediate meeting shall be held between Conservation Commission staff, the Applicant, the Applicant's engineer & contractor and other concerned parties to determine the corrective measures to be employed. The Applicant shall then act to correct the problems using the corrective measures agreed upon. In the event of a dispute amongst the participants of any meeting, the Commission's view shall prevail.
24. The Commission reserves the right to **require additional conditions** if deemed necessary to protect resource areas and interests as defined in MGL Chapter 131 Section 40 (310 CMR 10.00) and the Lincoln Wetlands Protection Bylaw.

Conditions Prior to Construction:

25. The **erosion controls (12-inch compost filter sock)** shall be properly installed as shown on the Plan of Record and/or field adjusted in consultation with conservation staff during the pre-construction meeting and shall be the line establishing the **Limit of Work**. No clearing of vegetation or disturbance of soil shall occur prior to the Pre-Construction Meeting.
26. The Conservation Office shall be notified one week prior to construction to allow for a **pre-construction meeting (781-259-2612)**. The following people shall be present for the pre-construction meeting: Conservation staff, the Applicant or their representative, the contractors and the individual responsible for erosion control monitoring. The purpose of the pre-construction site visit shall be to:
 - a. Review the Order of Conditions and the approved limit of work,
 - b. Discuss erosion control monitoring and confirm who is responsible for maintenance of erosion controls,
 - c. Determine if additional erosion control barriers are necessary and, if so, where these shall be installed,

- d. The Applicant shall provide the Commission (in writing) with the names, addresses, business number of the project supervisor. The Applicant shall also notify the Commission in writing of any changes in this information.

Conditions During Construction:

27. The Commission and its agents shall have the right to **make inspections** to ensure compliance with this Order. The Applicant will provide a copy of this Order of Conditions to the Site Manager and all building and landscape contractors. Contracts with such parties shall require that they read the Order of Conditions and shall fully comply with all conditions.
28. The erosion control barrier shall be **inspected and maintained on a regular basis**, and after all storm events, by the on-site supervisor. The barrier must be left intact until Commission staff approves its removal following a site inspection verifying that the area is stabilized. Immediately following removal of the barrier, any sediment that has built up at its base shall be removed by hand and the immediate area smoothed and stabilized with permanent, vegetative cover.
29. All excavated materials must be stockpiled outside of the 100-foot Buffer Zone and within the approved limit of work.

Final Site Stabilization and Removal of Erosion Controls:

30. Within thirty days of completion of construction on any given portion of the project, all disturbed areas in the completed portion of the site shall be **permanently stabilized** (immediately landscaped and stabilized, or loamed, seeded and mulched with a layer of mulch hay). Where necessary, the loam and seeding shall be held in place with jute netting. Outside of the growing season, exposed soil finish grade surfaces shall be stabilized with a layer of invasive-free mulch hay until climate conditions allow for seeding. Continued maintenance of these areas, in a manner which assures permanent stabilization and precludes any soil erosion, shall be the responsibility of the Applicant.
31. Once the site has been stabilized, the Applicant shall notify Commission staff, as required by Condition #28 above, and shall remove and properly dispose of all erosion controls in compliance with Condition #28. Removal of said erosion controls shall be accomplished utilizing the least invasive means possible.

Conditions related to Certificate of Compliance

32. Upon completion of construction and final soil stabilization, the Applicant shall submit the following to the Conservation Commission to **request a Certificate of Compliance (COC)**:
 - a. A Completed Request for a Certificate of Compliance form (WPA Form 8A or other form if required by the Conservation Commission at the time of request).
 - b. A letter from a Registered Professional Engineer certifying compliance of the property with this Order of Conditions, and detailing any deviations that exist, and their potential effect on the project. A statement that the work is in "substantial compliance" with no detailing of the deviations shall not be accepted.

- c. An "As-Built" plan signed and stamped by a Registered Professional Engineer or Land Surveyor showing post-construction conditions within all areas under the jurisdiction of the Massachusetts Wetlands Protection Act. This plan shall include at a minimum:
 - i. All wetland resource area boundaries with associated buffer zones and regulatory setback areas taken from the plan(s) approved in this Order of Conditions;
 - ii. Locations and elevations of any stormwater management conveyances, structures and best management designs, including foundation drains, constructed under this Order within any wetland resource area or buffer zone;
 - iii. Distances from any structures constructed under this Order to wetland resource areas - "structures" include, but are not limited to, solar panels, components, wells, utility lines, fences, retaining walls, and roads/driveways;
 - iv. A line delineating the limit of work - "work" includes any filling, excavating and/or disturbance of soils or vegetation approved under this Order;

Conditions in Perpetuity: These conditions shall run with the land and be binding in perpetuity on all successors in title to the property subject to the Order, and to any and all assignees of the Applicant and/or Owner.

34. Any future alterations on the property within the jurisdictional areas of the Massachusetts Wetlands Protection Act or Lincoln Wetlands Protection Bylaw shall require prior review by the Conservation Commission. This condition shall run with the land and be binding in perpetuity on all successors in title to the property subject to the Order, and to any and all assigns of the Applicant or the Owner.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
203-0965
 MassDEP File #
1651857
 eDEP Transaction #
Lincoln
 City/Town

E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

12/18/2023

1. Date of Issuance

Please indicate the number of members who will sign this form.

4

This Order must be signed by a majority of the Conservation Commission.

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate DEP Regional Office, if not filing electronically, and the property owner, if different from applicant.

By Vote on 9/16/20, the individuals listed below have accepted the provisions of M.G.L. c.110G regarding electronic signatures and that its members will henceforth execute documents either with electronic signatures or with wet ink signatures and that both will carry the same legal weight and effect. This was recorded with the Middlesex South Registry of Deeds in Book 76186 Page 183.

The names typed below represent the electronic signatures of the Commission

/Laura Regrut/

/Susan Hall Mygatt /

/Ari Kurtz/

/Becca Fasciano /


 Michele Grzenda, Conservation Director

by hand delivery on

by regular mail on

12/18/2023

Date

Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of Lincoln, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Commission and to the applicant, if he/she is not the appellant. Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.

G. Recording Information

This Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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 eDEP Transaction #:1651857
 City/Town:LINCOLN

subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

LINCOLN
 Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:
LINCOLN
 Conservation Commission

Please be advised that the Order of Conditions for the Project at:

169 NORTH GREAT ROAD
 Project Location

203-0965
 MassDEP File Number

Has been recorded at the Registry of Deeds of:

County	Book	Page
_____	_____	_____

for:
Property Owner

and has been noted in the chain of title of the affected property in:

Book _____ Page _____

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

Rev. 4/1/2010

ATTACHMENT I
EVERSOURCE EXISTING CONDUIT LETTER



TOWN OF LINCOLN

MIDDLESEX COUNTY MASSACHUSETTS

Timothy S. Higgins
Town Administrator

LINCOLN TOWN OFFICES
16 Lincoln Road,
Lincoln, MA 01773
Phone: 781-259-2601
E-mail: higginst@lincolntown.org
www.lincolntown.org

Eversource
Ms. Melanie Khederian
Ms. Kim Khounesombat
247 Station Drive
Westwood, MA 02090

Re: *Town of Lincoln Service Change for Account #2584-778-1009*

Dear Ms. Khederian and Ms. Khounesombat:

On behalf of the Town of Lincoln, allow me this opportunity to thank you both for your continued support and consideration as the Town and its solar partner, HESP Solar collaborate on developing, installing and operating a ground-mounted solar photovoltaic array on the Town's capped landfill.

In connection with this exciting solar project, the Town seeks Eversource's support in facilitating a change of use of the underground conduits Eversource is currently using for the provision of electricity supply from Mill Street to the Town's Transfer Station located adjacent to the landfill. To that end, the Town intends to discontinue electricity service from Eversource to account 2584-778-1009, located at service address, Mill Street P17/8. These electricity loads will be served directly from the solar photovoltaic array.

To facilitate this change, the Town respectfully asks Eversource for the following cooperation:

- The electricity service will be not be disconnected any sooner than 15 days prior to mechanical completion of the solar photovoltaic array.
- The Town and HESP will notify Eversource in writing no less than 45 days prior to mechanical completion of its request to disconnect the electricity service.
- It is understood that Eversource will remove its equipment (transformer and meter) and either remove its cable from the conduits or abandon the cable in the conduits in connection with the discontinuance of the electricity service from Eversource to the Transfer Station.
- HESP Solar will prepare the existing conduits for re-use for its medium voltage cable from its new transformer sited at the solar equipment pad to Mill Street.
- HESP Solar will serve the on-site electricity requirements at the Transfer Station from the solar photovoltaic array using a direct feed from the HESP Solar owned transformer. A vehicle-mounted generator will be used for the provision of

electricity supply at the Transfer Station in advance of energizing the solar photovoltaic array and during the ongoing operations of the solar photovoltaic array in the event of a grid outage or temporary disruption of electricity supply as initiated by Eversource.

While the Town understands that it and HESP Solar have primary responsibility to coordinate these activities with Eversource, it is critical that Eversource confirms its willingness and ability to support such coordination to avoid unnecessary and completely avoidable disruption to the operations of the Transfer Station.

On behalf of the Town of Lincoln, I thank you for your consideration and look forward to working together to achieve a common goal of environmental stewardship by facilitating the siting and implementation of renewable energy on the Town's capped landfill.

If you have any questions or need additional detail, please do not hesitate to contact me directly at 781-259-2604 or my project manager Beth Greenblatt at 617-469-2172.

Best personal regards,



Timothy S. Higgins

Town of Lincoln

Town Administrator

Cc:

Chris Bibbo, Superintendent, Department of Public Works

Beth Greenblatt, Beacon Integrated Solutions

Sarah Raccah, HESP Solar